



**AGENDA
PLANNING COMMISSION PRE-MEETING**

Tuesday, April 25, 2023

***A light dinner for Commissioners and staff will be served from
5:45-6:10 p.m. in Conference Room C
Community Development, City Hall***

***Pre-Meeting Begins at 6:30 p.m.
Council Chambers Board Room
Main Level, City Hall***

ITEM NO. 1: Items for Planning Commission Discussion

1. Newly Adopted 2040 Comprehensive Plan update
2. Update on SB 213

ITEM NO. 2: Upcoming Planning Commission Meeting Agenda Items

May 23, 2023 Public Hearing and Approval of Preliminary Development Plan and Official Development Plan for Lot 1, Block 2 of Greenlawn Subdivision Filing Number 1 Located at the Southwest Corner of West 92nd Avenue and Pierce Street

ITEM NO. 3: Items on This Evening's Agenda

- 3a) Public Hearing and Approval of an Amended PDP and Amended ODP for West 81st Place and Sheridan Subdivision, 8160 North Sheridan Boulevard to be known as Elite Motors prepared by David German, Development Services Coordinator

PLANNING COMMISSION MEETING AGENDA

1. ROLL CALL
2. CONSIDERATION OF PREVIOUS MEETING MINUTES
Meeting Minutes of February 28, 2023
3. CONSIDERATION OF NEW BUSINESS
 - a. Public Hearing and Approval of an Amended PDP and Amended ODP for West 81st Place and Sheridan Subdivision, 8160 North Sheridan Boulevard to be known as Elite Motors

Prepared by: David German, Development Services Coordinator

4. OLD BUSINESS
5. MISCELLANEOUS BUSINESS
6. ADJOURNMENT

PLEASE NOTE

The following are the procedures used by the Planning Commission for in-person meetings.

For participation guidelines please visit www.cityofwestminster.us/pc

1. Staff will present agenda items. The Developer may present after Staff.
2. Those in attendance who favor the proposed development may address the Commission, followed by those who do not favor the proposed development. The Chair may impose time limits on speakers.
PLEASE SIGN THE SHEET IN THE FRONT OF THE COUNCIL CHAMBERS WHEN YOU SPEAK.
3. All questions shall be addressed to the Chair of the Planning Commission. The Chair will call on Staff to address questions at the end of the hearing. Planning Commission reserves the right to question anyone at any time during the Public Hearing.
4. The Commission is charged with the review of Comprehensive Plan Amendments, Rezoning, Preliminary Development Plans, Amended Preliminary Development Plans, Official Development Plans, Amended Official Development Plans, Preliminary Plats and Amended Preliminary Plats that are not approved administratively by the City Manager.
5. There are two different procedures involved in the review of applications for development plan approval and the procedure depends on the type of plan under consideration:
 - a. After review and a public hearing, the Planning Commission may recommend approval of an application, approval subject to specified conditions, or denial of an application. The Planning Commission is **not** the final authority on these applications. The City Council is the final decision maker.
 - b. On applications for Official Development Plans and Amended Official Development Plans, the Planning Commission **does** make the final decision, unless the decision of the Planning Commission is appealed to the City Council within 10 days of the Planning Commission decision by a "party-in-interest," as described in Section 11-5-13(B.1) of the Westminster Municipal Code. If a decision of the Planning Commission is properly appealed to the City Council, the City Council will schedule the item for consideration at one of their upcoming meetings and, after holding a public hearing, make a final decision on the application.

If you need further information regarding this process, or any other matter related to the City's development review process, please contact the City Planning Division at 303-658-2092.

NOTE: Persons needing an accommodation, such as an interpreter for another language, or who have an impairment that requires accommodation, must notify the Planning Aide no later than noon on the Thursday

prior to the scheduled Planning Commission hearing to allow adequate time to discuss arrangements. Please call 303-658-2092/TTY711 or State Relay or email jbaden@cityofwestminster.us to make a reasonable accommodation request.



WESTMINSTER

CITY OF WESTMINSTER
PLANNING COMMISSION
Meeting Minutes
February 28, 2023

1. ROLL CALL

In the absence of Chair Boschert and Vice-Chair McConnell, the meeting was called to order at 7:00 pm by David German at which time, Commissioners were asked to elect an Acting-Chairperson to conduct the meeting. Commissioner Carpenter made a motion for Commissioner Mayo to serve as Acting-Chairperson, Commissioner Dunn seconded the motion. The vote unanimously passed (5 -0).

Present were Commissioners Lawrence Dunn, David Carpenter, David Tomecek, Richard Mayo, and Chennou Xiong. Excused from attendance were Chair Jim Boschert, Vice-Chair Joe McConnell and absent were Commissioners Elisa Torrez and Tracy Colling. Also present: Staff members John McConnell, Interim Planning Manager, Amy Johnson, Senior Planner, Patrick Caldwell, Senior Planner, Jacob Kasza, Senior Planner, Greg Graham, Deputy City Attorney, Joe Reale, Open Space Superintendent, Heath Klein, Transportation Engineer, and David German, Development Services Coordinator. With the roll called, Acting-Chairperson Mayo stated that a quorum was present.

2. CONSIDERATION OF MINUTES

Meeting Minutes from February 14, 2023.

Commissioner Tomecek made a motion to accept the minutes from the November 8, 2022, Planning Commission meeting. Commissioner Dunn seconded the motion. The minutes were unanimously accepted (5-0).

3. CONSIDERATION OF NEW BUSINESS AND PUBLIC HEARINGS

3a) 9889 Alkire Street Annexation, Comp Plan, & Zoning (Brauch Property), 12620 Zuni Street Annexation, Comp Plan, & Zoning (Bushnell Property), 7371 West 92nd Ave Annexation, Comp Plan, & Zoning (Diekmann Property), West 68th Ave & Federal Blvd Annexation, Comp Plan, & Zoning (Federal Blvd South Property), 3421 and 3431 Mosko Court Annexation, Comp Plan, & Zoning (Mosko Court Properties)

Patrick Caldwell, Senior Planner stated that four of the five properties have been purchased by the City to be added to the Open Space inventory. The Mosko Court site was purchased for Right-of-Way for Creekside Drive at the Westminster Station area. Tonight's proceeding is a cleanup effort to officially and correctly account for these properties to include annexing into the city, establishing zoning and allowed land uses and establishing a comprehensive plan land use designation. Staff recommends approval of annexation, comprehensive plan, and zoning to City Council. No PowerPoint presentation was prepared for tonight's hearing.

Mr. Caldwell entered into the record the agenda memorandum, associated attachments, and the public hearing notices.

Mr. Caldwell stated that several corrections were needed – sheet 5 of 7 in Criteria #4 in the agenda memo for the Diekmann site – the county of the Diekmann site is incorrectly noted as in Adams County. The attachment maps and legal description correctly locate the site in Jefferson County.

Mr. Caldwell also stated that the mailed notice incorrectly states the address as 7179 W. 96th place. The correct address is 7371 W. 92nd Avenue. The vicinity map that was included in this

mailed letter correctly located the site on West 92nd Avenue. The posted and published notice correctly listed the address as 7371 W. 92nd Avenue. Staff apologizes for these errors.

If Planning Commission makes its recommendation, these items will move forward to City Council on April 10th for first reading and second reading on April 24th.

Acting-Chairperson Mayo opened the public hearing at 7:11 pm.

One public comment received by email was read aloud in favor of the annexation of the property located at 7371 W. 92nd Avenue into Open Space.

Public testimony heard shared common concerns surrounding the dog park, increased traffic, and safety concerns around cleanup of the Diekmann Property.

Acting-Chairperson Mayo closed the public hearing at 7:28 pm.

Mr. Reale responded about 9889 Alkire Street (Brauch property) pointing out that the driveway is a shared driveway between the city and Mr. Bettis and the responsibility of maintenance on that driveway is on both parties. Mr. Reale also stated that there is no intention to allow public access to Open Space using that driveway off Alkire Street. Mr. Reale responded regarding the dog park area in question that there will be comments solicited from the community on what is being called the Westminster Hills Area Management Plan, with a website being launched the following week to seek public input on how the city manages that land in the future. Mr. Reale stated that Title 13 in the City Code states what can be done with Open Space land. The allowed off-leash dog area in question was special permission given by City Council and will be reviewed in the future.

Mr. Reale spoke about the property located at 7371 W. 92nd Avenue (Diekmann property). He stated that the city did due diligence and found there was asbestos on the property. The city bought the property a year ago and will be taking on the remediation of the property. Mr. Reale also stated that permits are being pulled on the property currently and that the city intends to move quickly with hopes to have the property cleaned up in the next 3-4 months. Longer term, there is potential to build trailhead connections into Walnut Creek.

Commissioner Carpenter made a motion to recommend that City Council approve the Annexation of Property Located at 9889 Alkire Street. The recommendation is based on a finding that the annexation is compliant with Section 11-5-1 of the Westminster Municipal Code.

Commissioner Carpenter made a motion to recommend that City Council approve the Comprehensive Plan Designation as City Open Space for Property Located at 9889 Alkire Street. This is based on a finding that the Comprehensive Plan Designation is generally supported by the criteria set forth in Section 11-5-21 of the Westminster Municipal Code.

Commissioner Carpenter made a motion to recommend that City Council approve the Designation of Zoning as O-1 for Property Located at 9889 Alkire Street. This is based on a finding that the zoning designation is generally supported by the criteria set forth in Section 11-5-3 of the Westminster Municipal Code.

Commissioner Tomecek seconded the motion.

Commissioner Carpenter thanked the residents of Alkire Street for speaking at the hearing.

Motion unanimously passed by a vote of (5-0).

Commissioner Dunn made a motion to recommend that City Council approve the Annexation of Property Located at 12620 Zuni Street. This is based on a finding that the annexation is compliant with Section 11-5-1 of the Westminster Municipal Code.

Commissioner Dunn made a motion to recommend that City Council approve the Comprehensive Plan Designation as Open Space for Property Located at 12620 Zuni Street. This is based on a finding that the Comprehensive Plan Designation is generally supported by the criteria set forth in Section 11-5-21 of the Westminster Municipal Code.

Commissioner Dunn made a motion to recommend that City Council approve the Designation of Zoning as O-1 for Property Located at 12620 Zuni Street. This is based on a finding that the zoning designation is generally supported by the criteria set forth in Section 11-5-3 of the Westminster Municipal Code.

Commissioner Tomecek seconded the motion.

Motion unanimously passed by a vote of (5-0).

Commissioner Tomecek made a motion to recommend that City Council approve the Annexation of Property Located at 7371 West 92nd Avenue. This is based on a finding that the annexation is compliant with Section 11-5-1 of the Westminster Municipal Code.

Commissioner Tomecek made a motion to recommend that City Council approve the Comprehensive Plan Designation as City Open Space for Property Located at 7371 West 92nd Avenue. This is based on a finding that the Comprehensive Plan Designation is generally supported by the criteria set forth in Section 11-5-21 of the Westminster Municipal Code.

Commissioner Tomecek made a motion to recommend that City Council approve the Designation of Zoning as O-1 for Property Located at 7371 West 92nd Avenue. This is based on a finding that the zoning designation is generally supported by the criteria set forth in Section 11-5-3 of the Westminster Municipal Code.

Commissioner Dunn seconded the motion.

Commissioner Tomecek stated that he would like to see the city address the hazardous materials and asbestos issues on the property as quickly as reasonably achievable as well as policing on the property while vacant.

Commissioner Carpenter agreed with Commissioner Tomecek and shared his disappointment that permitting is delaying the cleanup of the property.

Acting-Chairperson Mayo stated thanks to Parks and Open Space for addressing all concerns from testimony.

Motion unanimously passed by a vote of (5-0).

Commissioner Carpenter made a motion to recommend that City Council approve the Annexation of Property Located at West 68th Avenue & Federal Boulevard. This is based on a finding that the annexation is compliant with Section 11-5-1 of the Westminster Municipal Code.

Commissioner Carpenter made a motion to recommend that City Council approve the Comprehensive Plan Designation as City Open Space for Property Located at West 68th Avenue & Federal Boulevard. This is based on a finding that the Comprehensive Plan Designation is generally supported by the criteria set forth in Section 11-5-21 of the Westminster Municipal Code.

Commissioner Carpenter made a motion to recommend that City Council approve the Designation of Zoning as O-1 for Property Located at West 68th Avenue & Federal Boulevard. This is based on a finding that the zoning designation is generally supported by the criteria set forth in Section 11-5-3 of the Westminster Municipal Code.

Commissioner Tomecek seconded the motion.

Motion unanimously passed by a vote of (5-0).

Commissioner Dunn made a motion to recommend that City Council approve the Annexation of Property Located at 3421 and 3431 Mosko Court. This is based on a finding that the annexation is compliant with Section 11-5-1 of the Westminster Municipal Code.

Commissioner Dunn made a motion to recommend that City Council approve the Comprehensive Plan Designation as City Open Space for Property Located at 3421 and 3431 Mosko Court. This is based on a finding that the Comprehensive Plan Designation is generally supported by the criteria set forth in Section 11-5-21 of the Westminster Municipal Code.

Commissioner Dunn made a motion to recommend that City Council approve the Designation of Zoning as SPD for Property Located at 3421 and 3431 Mosko Court. This is based on a finding that the zoning designation is generally supported by the criteria set forth in Section 11-5-3 of the Westminster Municipal Code.

Commissioner Carpenter seconded the motion.

Motion unanimously passed by a vote of (5-0).

Commissioner Carpenter shared his appreciation for Mr. Caldwell's 24 years at the city and his final presentation at the Planning Commission.

3b) Public Hearing and Action on a Rezoning, a Preliminary Development Plan, and an Official Development Plan for Huron Farm

Jacob Kasza, Senior Planner, entered into the record the agenda memorandum, attachments, public notice affidavit of publication from the *Westminster Window* on February 16, 2023, notice signs posted on the property, and the certification of mailing. Mr. Kasza narrated a PowerPoint presentation for the proposal to:

- a. Hold a public hearing.
- b. Recommend that the Planning Commission recommend that the City Council approve the rezoning, PDP, and ODP for Huron Farm.

After completion of the staff presentation, the applicant Jon Spencer, President of Sterling Design Associates was present and gave a presentation.

Commissioner Carpenter inquired about the 10 daily trips alleged for the new residents seems high. Mr. Klein responded that 10 is high on the single-family residents but it is within the ITE per trip generation for the single-family dwelling unit and staff is going to air on the high side with the nature of the larger family. Typically, it is 6-12 for a single-family dwelling unit.

Commissioner Carpenter inquired about maintenance being taken over from the new residences and if that is noted on the ODP or PDP? Mr. Kasza stated that the ODP on the landscaping pages states that the owners of Lot 1 and Lot 2 are required to maintain the ROW along the south portion of West 144th Avenue and the Lot 1 eastern lot is also required to

maintain the landscaped ROW of Huron frontage road. The plan has also been divided visually to show the landscaping with each lot. It would be a code enforcement violation if it is not maintained.

Acting-Chairperson Mayo opened the public hearing at 8:15 pm.

One public comment received by email was read aloud in favor of the annexation of the property located at 7371 W. 92nd Avenue into Open Space.

Public testimony heard from several residents of the Quail Hill Subdivision all with shared common concerns surrounding the access road, removal of older trees, maintenance & preservation of the neighborhood entrance and overall fit for the neighborhood. Property owner Jared Melius was present and spoke to the neighbors in appreciation of the hard work that has been done and is open to work with the neighborhood to understand concerns.

Acting-Chairperson Mayo closed the public hearing at 8:48 pm.

Acting-Chairperson Mayo requested that the developer answer public comments regarding the road and the driveway. Mr. Spencer stated that considerations have been made based on direction from staff and trying to meet the criteria set forth in City Code. One concern has been the front entry - the sign was placed as the entry to Quail Hill which was part of Adams County and outside the control of the City of Westminster. Since that time, the right-of-way was deeded to the City of Westminster with the agreement of maintenance and technically does not belong to Quail Hill nor is it part of the HOA.

Regarding safety, Mr. Spencer stated that providing for the leach field and preservation of the barn and other features, the drive location has been moved as far east as possible. There are some trees on that bend that will be required to be removed for visibility and safety. The new owner would be responsible for future maintenance and any new landscaping of that area. He restated that the Code is being followed and development of one residence according to the standards and criteria set forth.

Mr. Kasza addressed the question regarding the flag lot which has been analyzed by staff. It would be a run of approximately 400+ feet of asphalt or concrete which is very expensive to be installed and maintained. There is a public right of way that is adjacent to the property, and it can be served directly from that right of way. The flag lot emergency services are considered and would require a 96-foot-wide circle for emergency vehicle turnaround which would also need to hold 70,000-pound truck. Lastly, there are several complications that come with flag lots as far as maintenance obligations, and water utility therefore the city opposes flag lots in general.

Commissioner Carpenter inquired about right of way limits. Mr. Kasza pointed out the property line on the PDP/ODP document map on the PPT presentation.

Commissioner Carpenter inquired if the restrictions were recorded on the subdivision plat. Mr. Kasza confirmed that the right of way is clearly shown on the plat and combined PDP and ODP for Quail Hill which have been shared with the HOA.

Commissioner Carpenter inquired on access restrictions recorded to 148th Avenue either on the plat or on the ODP/PDPs in the area. Mr. Kasza responded that he is not aware of any restrictions recorded on those documents.

Commissioner Carpenter wanted to verify that if someone from Adams County on the north side wanted to subdivide their lot, they could do so, accessing 148th without any issue. Mr. Kasza responded that he believes at that point, they would need to annex into the city and then go

through the regulations. They already have access to the public right of way and the city is only required to grant one access point.

Commissioner Carpenter asked for clarification on the maintenance agreements with the monument sign on the Huron Street frontage road. What does the record show? Mr. Kasza responded that maintenance agreements are typical for any subdivision and had a lot premium attached to them to cover costs of infrastructure and development. Those are private agreements. The city is party to the PDP and ODP agreements which are the regulatory documents that state what stipulations are regarding landscaping in the right of way and that the HOA maintain that landscaping.

Commissioner Carpenter inquired about the spruce trees regarding sight conditions. If they are causing a sight condition for the driveway, are they also causing a sight condition with the curve in general? Mr. Kasza responded that if the goal is to preserve the trees, one option could be to limb the trees up to 8 feet. Currently, where they are the trees are not on the PDP or ODP on that location and they wouldn't be approved at this location because of the sight visibility issues of the existing street curve.

Commissioner Carpenter asked if there is a policy where the city is encouraging the single-family development for the purpose of tax revenue? Mr. Kasza verified that there is no policy. The city tax revenue on new development comes from initial tax for permit fee and use tax and the property tax rate is 3.65 mills which is one of the lowest tax rates in the front range. Approximately 70% of the city budget comes from sales tax.

Commissioner Carpenter inquired about Westminster Code Enforcement communication with Adams County. Mr. Kasza responded that there is communication with Adams County and has heard that they have more to cover per staff person in that county which is more of a challenge.

Commissioner Carpenter inquired about irrigation in the entry way. Why did we not allow them to purchase a tap for non-potable water if it were available? Mr. Kasza responded that he does not have an answer for that question. Commissioner Carpenter commented that regardless of what happens, the issue of using reclaimed water versus fresh water should be revisited.

Commissioner Carpenter asked if there is anyplace in the city where we do not permit driveway access to a road from a house. Mr. Kasza responded that yes, specifically in arterial streets and collector streets. The city won't allow rear pullout onto a collector street, you must have a front exit. This is a local street so the city will allow full access onto local streets.

Commissioner Carpenter asked why sidewalks were not required during construction. Mr. Kasza responded that he does not have an answer for that question.

Commissioner Carpenter asked can the city put a stipulation on new subdivided properties that they must join the Quail Hill HOA? Deputy City Attorney Graham stated that he doesn't know the answer but that this is a recommendation that the Planning Commission could make and if it is not allowable by Code, then that could be addressed at the City Council meeting.

Commissioner Tomecek asked city staff to clarify why this particular property wouldn't be able to pull utilities from the Huron frontage road. Mr. Kasza responded that his understanding is that there is not a water line close enough of adequate size and type to pull from. There is a water line in the landscape section of the right of way of 148th Avenue that would be the recommended access point. Fire sprinklers are required in all new homes and to maintain adequate water pressure. To draw a service line from a water main in Huron Street would be a long run and may not be feasible.

Commissioner Tomecek asked for clarification on the email comments regarding the legal questions on who owns the land, who has been responsible for maintenance of the property,

and effectively losing this property. Can the city speak to the code and legality of the development process? Mr. Kasza stated that the right of way section of West 148th Avenue was dedicated to the city as right of way with their subdivision plat. Right of way belongs to the public, dedicating it to the city means the city is the controller of the right of way. The city has control of the access which is a legal mechanism that under the City Code Section 11-7-5, requires that the property owner adjoining the right of way is responsible for the maintenance of the landscaped portion of the right of way as well as snow removal. It also states that the HOA must maintain all landscaping on all right of way and common tracts as shown on their ODP. The PDP/ODP for Quail Hill shows the landscape area of the right of way and includes specific notes for the maintenance responsibilities of the HOA. City staff has determined that the new owner would need to access the right of way and thus becoming the beneficiary of the right of way, he should be the one to maintain it and the applicant has agreed such which would be amending the ODP to replace Quail Hill with the new owner.

Commissioner Tomecek asked what assurances does the existing neighborhood have that the new property owners will continue to maintain their property consistent with the remainder of the neighborhood? Mr. Kasza responded that one option would be to include a condition of approval that Lots 1 and 2 of Huron Farm don't do any maintenance and that the obligation of maintenance remain with Quail Hill. Commissioner Tomecek responded that historically we expect developers to have the funding to perform that maintenance. Do we have that assurance with only two property owners? Mr. Kasza stated that the city doesn't require that an HOA have a surety account for maintenance so there is no guarantee that this maintenance will continue.

Commissioner Tomecek asked about the proposed septic field on the plans. How many homes in the Quail Hill neighborhood have a septic system? Mr. Kasza responded that he is unaware of any septic system, that all are part of the city sewer system. Commissioner Tomecek asked what precludes them from connecting into the sewer system? Mr. Kasza responded that it cannot be gravity fed. The existing line is too far away, and it is too high up. There is no line in Huron that is accessible.

Commissioner Tomecek inquired about the utility corridor that runs on the south side of the property. What runs through that? Mr. Kasza responded that looking at the utility plan, there is no utility there - more than likely an old line of CenturyLink or Comcast. The easement was more than likely recorded with the plat.

Commissioner Xiong stated that assuming there is not a city ordinance or code violation of adding the condition that the property owner join the Quail Hill HOA, would the Quail Hill neighborhood be opposed to the property owner joining the HOA? A neighborhood resident responded that a couple of things would need to be reviewed first - the proposed house would have to meet the standards of the neighborhood, and a vote by the membership would need to be done. A second resident responded that she doesn't believe that the property will fit in the covenants of the neighborhood. She also responded to previous questions asked about the median center in the island of the entrance and per the Assessor's office, that belongs to Quail Hill.

Commissioner Carpenter made a motion to recommend City Council approve the Rezoning, Preliminary Development Plan, and Official Development Plan for Huron Farm Subdivision Planned Unit Development. This recommendation is based on a finding that the Rezoning, Preliminary Development Plan, and Official Development Plan is supported by the criteria set forth in Sections 11-5-14 and 11-5-15 of the Westminster Municipal Code with the stipulation that Lot 2 joins the Quail Hill Homeowners Association.

There was no second to the motion, therefore the motion dies. Acting Chairperson Mayo calls for a new motion.

Commissioner Dunn made a motion to recommend City Council approve the Rezoning, Preliminary Development Plan, and Official Development Plan for Huron Farm Subdivision Planned Unit Development. This recommendation is based on a finding that the Rezoning, Preliminary Development Plan, and Official Development Plan is supported by the criteria set forth in Sections 11-5-14 and 11-5-15 of the Westminster Municipal Code.

Commissioner Carpenter seconded the motion.

Commissioner Dunn stated that he feels for the residents of Quail Hill as well as the applicant. He makes this motion without any stipulations.

Commissioner Carpenter stated in agreement with Commissioner Dunn. West 148th Avenue is a public right of way, and the Huron property is public property, and the applicant should be allowed to build a house.

Commissioner Tomecek stated that he will be voting no against this motion based on City Code 11-5-15, item #5 as he doesn't believe that this plan is compatible and harmonious with the existing private and public developments in the area. The city Planning department could do better to bring the house within closer conformance with the neighborhood. It is up to City Council to determine if joining the HOA as a requirement would be legal. Upgrade of the existing fencing, agreement for existing landscape maintenance, and conformance with the neighborhood would be required for a yes vote.

Acting Chairperson Mayo confirmed that ownership of the monument sign is on Quail Hill property. Having personally been the HOA President for 20 years, the entry of his neighborhood is public right of way, and the monument sign is maintained by his HOA, however there is no say as to what can happen with the public right of way. As far as harmonious neighborhood, having nice homes near other nice homes is harmonious. He will be supporting the motion.

Motion passed by a vote of (4-1) with Commissioner Tomecek voting no.

Planning Commissioners took a 10-minute break at 9:37 pm.

Acting Chairperson Mayo called the meeting back to order at 9:45 pm.

3c) Public Hearing and Consideration of a Preliminary Development Plan Amendment and an Official Development Plan Amendment for the Tri-State PUD

Amy Johnson, Senior Planner, entered into the record the agenda memorandum, attachments, public notice affidavit of publication from the *Westminster Window* on February 16, 2023, notice signs posted on the property, and the certification of mailing. Ms. Johnson narrated a PowerPoint presentation for the proposal to:

- a. Hold a public hearing.
- b. Recommend conditional approval of the PDP and ODP amendments.

After completion of the staff presentation, the applicant Mark Littrell, CEO of West Pines Behavioral Health representing the Acadia Healthcare/SCL Health Joint-Venture was present and gave a presentation.

Commissioner Tomecek asked if the proposal has been reviewed by the building division and fire department? Ms. Johnson responded that yes, they have reviewed the proposal.

Commissioner Carpenter asked about screenings and refusals of potential violent patients and what happens to those people that aren't admitted for treatment. Mr. Littrell responded that they work with community providers to ensure that patients are in the right space. They work to

vet out volatility and manage through assessment. In the majority of the hospital systems, 50-60% are voluntary hold patients.

Commissioner Carpenter asked about the agenda memo and the Lot 3 proposal in the 2040 Comprehensive Plan being residential medium density, a wall being constructed, and the potential of a third exception request. Ms. Johnson stated that the requirement for a wall is in the Retail Commercial Design Guidelines, not in the 2040 Comprehensive Plan.

Commissioner Carpenter asked about the conditions of approval and where they are listed. Ms. Johnson stated that the eight conditions can be found on page 11 and page 12 of the agenda memo.

Acting-Chairperson Mayo opened the public hearing at 10:10 pm.

One public comment received by email was read aloud in opposition of the project due to the location of the facility.

With no additional public comment, Acting Chairperson Mayo closed the public hearing at 10:13 pm.

Commissioner Tomecek made a motion to recommend that City Council approve the PDP Amendment and ODP Amendment for the subject property known as the Tri-State PUD subject to all eight of the conditions listed in the agenda memo.

Commissioner Dunn seconded the motion.

Commissioner Carpenter stated that he is in support of this vital service for the community.

Motion unanimously passed by a vote of (5-0).

4. ADJOURNMENT

The meeting was adjourned at 10:15 p.m.

THE WESTMINSTER PLANNING COMMISSION

Richard Mayo, Acting Chairperson

A full recording of the meeting has been posted on The City of Westminster website. www.cityofwestminster.us/pc



WESTMINSTER

Agenda Memorandum

Agenda Item

Planning Commission Meeting April 25, 2023



Strategic Priority 1: Preparedness and Resilience – Build a system of intentional support for residents, businesses, and the environment that mitigates risks and proactively seeks out ways to ensure the community not only endures, but thrives.

SUBJECT: Public Hearing and Approval of an Amended Preliminary Development Plan and an Amended Official Development Plan for West 81st Place and Sheridan Subdivision, 8160 North Sheridan Boulevard, to be known as Elite Motors.

PREPARED BY: David W. German, AICP, Development Services Coordinator

RECOMMENDED ACTION:

1. Hold a public hearing.
2. Recommend City Council approve the amended Preliminary Development Plan and amended Official Development Plan for West 81st Place and Sheridan Planned Unit Development. This recommendation is based on a finding that the amended Preliminary Development Plan and amended Official Development Plan are generally supported by the criteria set forth in Sections 11-5-14 and 11-5-15 of the Westminster Municipal Code.

SUMMARY STATEMENT:

- The proposed redevelopment consists of one parcel of land totaling 0.62 acres, addressed as 8160 Sheridan Boulevard (property), see Attachment 1.
- The applicant is requesting approval of an amended Preliminary Development Plan (PDP) and an amended Official Development Plan (ODP) that would facilitate the adaptive reuse of the property as a sales lot for new and used automobiles to be called Elite Motors, see Attachments 2 and 3.

FISCAL IMPACT:

\$0 in expenditures.

SOURCE OF FUNDS:

Not applicable.

POLICY ISSUE(S):

Should Planning Commission recommend that City Council approve the PDP and ODP for the subject property known as Block 1, Lot 2 of the West 81st Place and Sheridan Planned Unit Development (PUD) to facilitate a proposed automobile dealership?

ALTERNATIVE(S):

Planning Commission could recommend denial of the PDP and ODP to City Council. Staff does not recommend this option because the PDP and ODP are generally supported by the criteria set forth in Sections 11-5-14 and 11-5-15 of the Westminster Municipal Code (W.M.C.). Further, approval of the project by the City Council creates a suitable adaptive reuse of the property that is supported by the City's Comprehensive Plan.

BACKGROUND INFORMATION:

Overview of Development Review and Entitlement Process

The development review and approval process can vary throughout the City, depending upon the specific property and the proposed development, but typically requires a PDP and ODP pursuant to the land use allowances established by the Comprehensive Plan. The Comprehensive Plan includes specific land use designations that provide a broad range of uses, and which identify allowed densities and intensities of use. The W.M.C. requires that all development be in compliance with the Comprehensive Plan.

For this development proposal, the applicant is requesting the allowance of a new land use on the property: "Automobile Sales, New or Used." The Comprehensive Plan designates this property as Service Commercial. The Service Commercial land use category allows auto-oriented uses including sales and service as a primary use. The amended ODP and PDP require recommendation of the Planning Commission and approval by the City Council for their consideration due to the request for the new allowed land use.

If City Council acts to approve these development applications, the applicant's next step will be to prepare and submit civil construction drawings and building plans to the City for approval.

History of Subject Property

The property was annexed into the City in 1961 as part of the Harmelink and Far Horizons Annexation, and was zoned R-3 for residential use. In 1987, the property was rezoned to Planned Unit Development (PUD) to support the development of a Total Petroleum ("Diamond Shamrock") gas station. Construction of the gas station and an associated convenience store was completed in 1989. The gas station eventually ceased operation in October of 2014, and the underground fuel storage tanks that supported the station were removed in February of 2015. The Colorado Department of Labor and Employment, Division of Oil and Public Safety issued a "No Further Action" determination in March of 2016, indicating that the grounds of the site were properly decontaminated after the removal of the underground fuel storage tanks. The property has remained vacant and unused ever since.

Nature of Request

The applicant is seeking approval of two development applications to allow for the creation of an automobile sales lot. The first application is for an amended PDP to add the allowed land use of "Automobile Sales, New and Used," and supporting ancillary uses. The second application is for an amended ODP that details the minor changes needed for the site to support the automobile sales use.

Applicant

Derek Price
D4 Architecture
3550 W. 38th Avenue, Suite 12
Denver, Colorado 80211

Owner/Developer

Avak Shabanyan
Elite Motors, LLC
8160 Sheridan Boulevard

Westminster, Colorado 80003

Location

The proposed redevelopment consists of one parcel of land, totaling 0.62 acres, located at 8160 Sheridan Boulevard.

Surrounding Land Uses and Comprehensive Land Use Plan Designation

Direction	Development Name	Zoning	Comp Plan Designation	Current Use
North	West 81 st Place and Sheridan PUD	PUD	Service Commercial	Vacant (Former <i>Sonic</i> Site)
East	West 81 st Place and Sheridan PUD, 1 st Replat	PUD	Service Commercial	Storage Facility
South	West 81 st Place and Sheridan PUD	PUD	Service Commercial	Check Cashing
West	City of Arvada	City of Arvada	City of Arvada	Retail / Commercial

Public Notification

Section 11-5-13(A), W.M.C. requires the following three public notification procedures:

- **Published Notice:** Notice of public hearings scheduled before Planning Commission or City Council shall be published and posted at least ten days prior to such hearing. Notice was published in the *Westminster Window* by the required deadline.
- **Property Posting:** Notice of the public hearing shall be posted on the property by the applicant with a minimum of one sign per every 660 linear feet of street frontage in a location reasonably visible to vehicular and pedestrian traffic passing adjacent to the site. A sign was posted on the subject property by the required deadline. The applicant has provided the City’s Planning Manager with a certification that the sign was posted and properly maintained throughout the posting period.
- **Written Notice:** Mailed notices were sent to property owners and addresses within 1,000 feet of the property boundary. The applicant has provided the City’s Planning Manager with a certification that the required notices were mailed by the required deadline.

In addition to the requirements outlined and met above, project information was provided and maintained on the City’s Status of Planning and Development Projects webpage.

Westminster Municipal Code Analysis

11-5-14. - Standards for Approval of Planned Unit Development Zoning, Preliminary Development Plans and Amendments to Preliminary Development Plans.

(A) In reviewing an application for approval of Planned Unit Development zoning and its associated Preliminary Development Plan, or an amended Preliminary Development Plan, the following criteria shall be considered:

1. *The Planned Unit Development (PUD) zoning and the proposed land uses in the associated Preliminary Development Plan are in conformance with the City’s Comprehensive Plan and all City Codes, ordinances, and policies.*

The PDP conforms to the density and uses of the site's Comprehensive Plan designation and generally conforms with the City Code, ordinances, and policies. The proposed redevelopment is a good infill opportunity for the City that maintains a compatible scale and land use with existing adjoining uses.

- 2. The Preliminary Development Plan exhibits the application of sound, creative, innovative, and efficient planning principles.*

The PDP exhibits sound and efficient planning principles. Adaptively reusing an existing site helps to curtail sprawl, makes use of existing infrastructure and resources, and activates an inactive area.

- 3. Any exceptions from standard Code requirements or limitations are warranted by virtue of design or special amenities incorporated in the development proposal and are clearly identified on the Preliminary Development Plan (PDP).*

No exceptions to development standards were requested with this application.

- 4. The PDP is compatible and harmonious with existing public and private development in the surrounding area.*

Staff finds that the proposed PDP is compatible and harmonious with existing development in the surrounding area. The proposed redevelopment offers a compatible scale and land use when compared to existing adjoining uses.

- 5. The PDP provides for the protection of the development from potentially adverse surrounding influences and for the protection of the surrounding areas from potentially adverse influence from within the development.*

Staff finds that the redevelopment does not represent an adverse impact to the surrounding community, and, in turn, is not affected adversely by the community. The proposed redevelopment represents a lower impact to the surrounding area than the gas station use previously located on this site.

- 6. The PDP has no significant adverse impacts upon existing or future land uses nor upon the future development of the immediate area.*

Staff finds that the PDP will not have significant adverse impacts upon existing or future land uses.

- 7. Streets, driveways, access points, and turning movements are designed in a manner that promotes safe, convenient, and free traffic flow on streets without interruptions, and in a manner that creates minimum hazards for vehicles and pedestrian traffic.*

The proposed redevelopment does not alter the existing streets, driveways, access points, or turning movements of the area, and introduces an additional pedestrian connection. Traffic generated is expected to be lower than that of the previous gas station use at this location.

- 8. The City may require rights-of-way adjacent to existing or proposed arterial or collector streets, any easements for public utilities and any other public lands to be dedicated to the City as a condition to approving the PDP. Nothing herein shall preclude further public land dedications as a condition to ODP or plat approvals by the City.*

The PDP does not preclude future land dedications for public roadways or utilities.

- 9. Performance standards are included that ensure reasonable expectations of future Official Development Plans being able to meet the Standards for Approval of an Official Development Plan*

contained in Section 11-5-15, W.M.C.

The PDP includes all of the necessary performance standards to ensure reasonable expectations for the ODP to meet the standards for approval. Most performance standards will be reviewed and shown on the ODP rather than the PDP.

10. The applicant is not in default or does not have any outstanding obligations to the City.

The applicant is not in default and does not have outstanding obligations to the City.

(B) Failure to meet any of the above-listed standards may be grounds for denial of an application for Planned Unit Development zoning, a Preliminary Development Plan or an amendment to a Preliminary Development Plan.

11-5-15. - Standards for Approval of Official Development Plans and Amendments to Official Development Plans.

(A) In reviewing an application for the approval of an Official Development Plan or amended Official Development Plan, the following criteria shall be considered:

1. The plan is in conformance with all City Codes, ordinances, and policies.

The ODP generally meets all City Codes, ordinances, and policies. No exceptions to development standards were requested with this application.

2. The plan is in conformance with an approved Preliminary Development Plan or the provisions of the applicable zoning district, if other than Planned Unit Development (PUD).

The applicant has prepared an amended PDP and amended ODP at the same time. The ODP is in conformance with the proposed PDP.

3. The plan exhibits the application of sound, creative, innovative, or efficient planning and design principles.

The ODP exhibits sound and efficient planning principles. Adaptively reusing an existing site helps to curtail sprawl, makes use of existing infrastructure and resources, and activates an inactive area.

4. For plans in PUD zones, any exceptions from standard code requirements or limitations are warranted by virtue of design or special amenities incorporated in the development proposal and are clearly identified on the Official Development Plan.

No exceptions are sought by this application.

5. The plan is compatible and harmonious with existing public and private development in the surrounding area.

Staff finds that the proposed ODP is compatible and harmonious with existing development in the surrounding area. The proposed redevelopment offers a compatible scale and land use when compared to existing adjoining uses.

6. The plan provides for the protection of the development from potentially adverse surrounding influences and for the protection of the surrounding areas from potentially adverse influence from within the development.

Staff finds that the redevelopment does not represent an adverse impact to the surrounding community, and, in turn, is not affected adversely by the community. The proposed redevelopment

represents a lower impact to the surrounding area than the gas station use previously located on this site.

- 7. The plan has no significant adverse impacts on future land uses and future development of the immediate area.*

Staff finds that the ODP will not have significant adverse impacts upon existing or future land uses.

- 8. The plan provides for the safe, convenient, and harmonious grouping of structures, uses, and facilities and for the appropriate relation of space to intended use and structural features.*

The ODP proposes to reuse an existing structure, to restore damaged or dead landscaping, and to introduce new landscaping. If approved, general repairs and restoration will be performed on the site. Additionally, a previously vacant site would receive regular care and maintenance. This will potentially provide activity and help improve the overall appearance and character of the area.

- 9. Building height, bulk, setbacks, lot size, and lot coverages are in accordance with sound design principles and practice.*

The scope and scale of the existing building and proposed land use are in keeping both with the character of the surrounding area and the tenets of the Comprehensive Plan.

- 10. The architectural design of all structures is internally and externally compatible, in terms of shape, color, texture, forms, and materials.*

The renovated building will meet the requirements of the City's standards, and be harmonious with surrounding properties.

- 11. Fences, walls, and vegetative screening are provided where needed and as appropriate to screen undesirable views, lighting, noise, or other environmental effects attributable to the development.*

The site is appropriately screened. Additionally, a damaged dumpster enclosure will be properly restored as part of this project.

- 12. Landscaping is in conformance with City Code requirements and City policies and is adequate and appropriate.*

Dead and damaged landscaping and irrigation will be replaced with approval of this project. Additional landscaping will be provided, and the site will be cleaned-up and restored.

- 13. Existing and proposed streets are suitable and adequate to carry the traffic within the development and its surrounding vicinity.*

The proposed land use is expected to generate fewer trips than the previous gas station land use. Additionally, Sheridan Boulevard is a major arterial that has the capacity needed to support the planned redevelopment.

- 14. Streets, parking areas, driveways, access points, and turning movements are designed in a manner that promotes safe, convenient, and free traffic flow on streets without interruptions, and in a manner that creates minimum hazards for vehicles and pedestrian traffic.*

The proposed redevelopment does not alter the existing streets, driveways, access points, or turning movements of the area, and introduces an additional pedestrian connection. Traffic generated is expected to be lower than that of the previous gas station use at this location.

15. *Pedestrian movement is designed in a manner that forms a logical, safe, and convenient system between all structures and off-site destinations likely to attract substantial pedestrian traffic.*

Pedestrian movement at this site will be enhanced with an additional pedestrian connection. This is a predominantly automobile-oriented redevelopment that is not expected to generate or receive substantial pedestrian traffic, but the restoration of the site will improve the pedestrian experience on the sidewalk along Sheridan Boulevard, as well as within the site.

16. *Existing and proposed utility systems and storm drainage facilities are adequate to serve the development and are in conformance with the Preliminary Development Plans and utility master plans.*

The site will be adequately served by, and is already connected to, existing water and sewer infrastructure in the area. The project will include appropriately sized water and irrigation lines as required by the City's Public Works & Utilities Department.

17. *The applicant is not in default or does not have any outstanding obligations to the City.*

The applicant is not in default and does not have outstanding obligations to the City.

(B) Failure to meet any of the above-listed standards may be grounds for denial of an Official Development Plan or an amendment to an Official Development Plan.

Neighborhood Meeting(s) and Public Comments

A neighborhood meeting was held virtually using the City's *GoToWebinar* platform on August 17, 2022. No members of the public chose to attend. Staff has received no public comments on the proposed redevelopment.

Staff Recommendation

Staff recommends approval of the proposed PDP and ODP amendments as the proposed redevelopment substantially conforms with the requirements of the Comprehensive Plan, and provides a suitable adaptive reuse for a long-vacant property. Staff finds that the proposal is in general conformance with the City's policies, standards, and sound planning principles and practices, and that there is existing capacity in the City's street, drainage, and utility systems to accommodate the proposed redevelopment in accordance with Sections 11-5-14 and 11-5-15, W.M.C.

STRATEGIC PLAN PRIORITIES:

The City's Strategic Plan priority of building a system of intentional support for residents, businesses, and the environment that mitigates risks and proactively seeks out ways to ensure the community not only endures, but thrives, is met by actively facilitating infill development within the City. By supporting adaptive reuse of existing, vacant properties, the City conserves resources, improves the efficiency of public infrastructure, reduces the propensity for sprawl, reactivates areas that have fallen into disuse and neglect, and creates new economic opportunities for both businesses and the City.

Respectfully Submitted,



John McConnell, AICP
Interim Planning Manager

ATTACHMENTS:

Attachment 1: Vicinity Map

Attachment 2: Proposed Amended Preliminary Development Plan (PDP)

Attachment 3: Proposed Amended Official Development Plan (ODP)

**JEFFERSON
COUNTY**

**ADAMS
COUNTY**

ATTACHMENT 1

Sunset Ridge Apartments

Sandpiper Apartments

**ELITE MOTORS
8160 Sheridan
Blvd.**

Extra Space Storage

**Woodstone Village
Apartments**

Public Storage

**Westminster Square
Apartments**

**City of
Arvada**

**City of
Westminster**

Sheridan Blvd

81st Pl

80th St

80th Ave

80th Ave

Zenobia St

Yates St

Xavier St

Apex Ln

Barr Ln

82nd Ave

Raleigh St

Raleigh Pl

Stuart St

Stuart Pl

Tennyson St

Wolff St

THIRD AMENDED PRELIMINARY DEVELOPMENT PLAN
WEST 81ST PLACE AND SHERIDAN SUBDIVISION, LOT 2, BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 3

LEGAL DESCRIPTION:
 A PORTION OF LOT 2, BLOCK 1, WEST 81ST PLACE & SHERIDAN P.U.D. SUBDIVISION.

PART OF THE SOUTHWEST 1/4 OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M. CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO

SURVEYOR'S CERTIFICATE:
 I, SCOTT A. PULLING, BEING A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THIS IMPROVEMENT SURVEY PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY PERFORMED ON OCTOBER 12, 2021, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

SCOTT A. PULLING, P.L.S. 27936

FOR AND ON BEHALF OF
 GSS SURVEYING, LLC

SURVEY NOTES:
 1. ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED ON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BE COMMENCED MORE THAN 10 YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

2. BASIS OF BEARING IS THE SOUTH LINE OF THE SUBJECT PROPERTY BETWEEN THE MONUMENTS DESCRIBED HEREON.

3. BASIS OF ELEVATION FOR THIS SURVEY IS NAVD 88 DATUM BASED ON GPS OBSERVATION AT AND NEAR THE SITE.

4. CONTOUR INTERVAL: 1 FOOT.

5. LINEAL UNIT OF MEASURE IS U.S. SURVEY FEET.

6. UTILITIES SHOWN WERE PLOTTED BASED ON VISIBLE EVIDENCE AND ARE NOT GUARANTEED ACCURATE OR ALL INCLUSIVE.

7. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY GSS SURVEYING, LLC TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS AND RIGHTS-OF-WAY, IF SHOWN, GSS SURVEYING, LLC RELIED ON THE RECORDED PLAT.

8. FOR BEARINGS/DISTANCES SHOWN; (M) DENOTES MEASURED, (P) DENOTES PLAT, (D) DENOTES DEED, AND (R) DENOTES RECORD.

PROJECT INFORMATION:
 ADDRESS: 8160 SHERIDAN BLVD., WESTMINSTER, CO 80003
 PARCEL ID: 0171930310012
 ZONE: PUD

PROJECT TEAM:
OWNER/DEVELOPER
 ELITE AUTO MOTORS
 AVAK SHABANYAN
 4295 INCA ST.
 DENVER, CO 80211
 (720) 226-3986

CONTRACTOR
 D4 ARCHITECTURE
 DEREK PRICE
 3550 W 38TH AVE, SUITE 12
 DENVER, CO 80211
 (303) 946-5389

CIVIL ENGINEER
 CHADWIN F. COX, P.E.
 WESTERN ENGINEERING CONSULTANTS, INC.
 127 SOUTH DENVER AVE.
 FORT LUPTON, CO 80621
 (720) 685-9951

PERMITTED USES
 AUTOMOBILE SERVICING, MAINTENANCE, AND REPAIRS (EXCEPT PROHIBITED USES SHOWN BELOW; ALL SERVICING, MAINTENANCE, AND REPAIRS SHALL BE CONDUCTED WITHIN FULLY ENCLOSED REPAIR BAYS)

AUTOMOBILE SALES, NEW OR USED (ALL VEHICLES SHALL BE FULLY OPERATIONAL AND COMPLETE, CLEAN, AND SELLABLE, PROPERLY DOCUMENTED, AND IN STREET-LEGAL CONDITION)

ALL C1 AND B1 ZONING LAND USES, AS LISTED IN THE WESTMINSTER MUNICIPAL CODE, (EXCEPT THOSE USES IN CONFLICT WITH THE COMPREHENSIVE PLAN)

PROHIBITED USES
 ANY USES NOT SPECIFICALLY LISTED AS PERMITTED SHALL BE DEEMED PROHIBITED. THE PLANNING MANAGER SHALL DETERMINE IF AN UNLISTED USE OR SET OF USES FALLS INTO THE DEFINITION OF A LISTED PERMITTED USE.

OTHER PROHIBITED USES:
 AUTO BODY SHOPS
 AUTO PAINT SHOPS
 ALL USES IN CONFLICT WITH THE COMPREHENSIVE PLAN
 OUTDOOR STORAGE OR DISPLAY (EXCLUDING VEHICLES FOR SALE)

PURPOSE OF AMENDMENT
 ADD PERMITTED LAND USE: AUTOMOBILE SALES, NEW OR USED

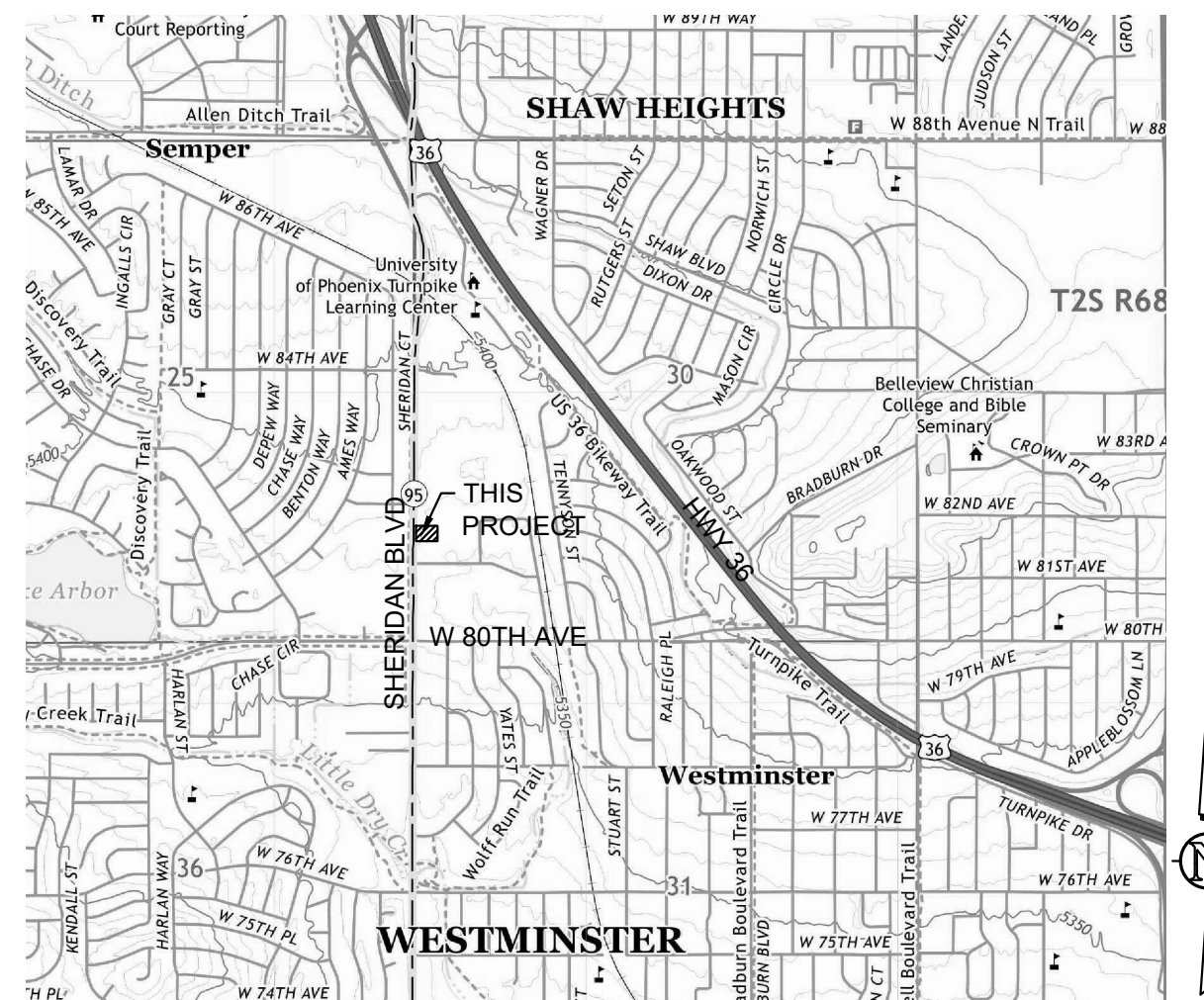
FULL FORCE & EFFECT
 ALL PROVISIONS OF THE ORIGINAL PDP, RECORDED AT RECEPTION NO. B752522, PUD # 1049, ON JULY 2, 1987, AND ALL AND SUBSEQUENT PDP AMENDMENTS SHALL REMAIN IN FULL FORCE AND EFFECT, EXCEPT AS OTHERWISE NOTED HEREIN.

ZONING & LAND USE
 CURRENT ZONING & LAND USE: PUD, VACANT COMMERCIAL BUILDING
 PROPOSED ZONING & LAND USE: PUD, AUTOMOBILE SALES, NEW OR USED
 COMPREHENSIVE PLAN: SERVICE COMMERCIAL

DEVELOPMENT TIMING & PHASING
 IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S PDP OR LATEST PDP AMENDMENT IS MORE THAN FIVE (5) YEARS OLD AND NO BUILDING PERMIT HAS BEEN ISSUED, THE PDP OR AMENDED PDP SHALL BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN ACCORDANCE WITH CITY CODE.

THE PROPOSED DEVELOPMENT TIMING AND PHASING FOR THIS PROJECT IS AS FOLLOWS:

ENTITLEMENT PROCESS: COMPLETED FALL/WINTER 2022
 SITE IMPROVEMENTS: COMPLETED WINTER 2022/SPRING 2023
 LANDSCAPE PLANTING: COMPLETED SPRING 2023



VICINITY MAP SCALE 1" = 2,000'
 SW 1/4 SECTION 30, TOWNSHIP 2 SOUTH RANGE 68 WEST
 SHOWN VICINITY MAP TAKEN FROM USGS QUAD MAP - ARVADA, CO

ZONING & LAND USE

	ZONING	LAND USE	COMP. PLAN DESIGNATION
NORTH:	PUD	VACANT; (FORMERLY "SONIC")	SERVICE COMMERCIAL
SOUTH:	PUD	COMMERCIAL; ("MONEY TREE")	SERVICE COMMERCIAL
EAST:	PUD	COMMERCIAL; ("LIFE STORAGE")	SERVICE COMMERCIAL
WEST:	CITY OF ARVADA	RETAIL / COMMERCIAL	CITY OF ARVADA

OWNER APPROVAL

I, AVAK SHABANYAN PROPERTY OWNER, DO SO APPROVE THIS PDP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

SIGNATURE _____

CITY APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

CHAIRMAN _____

ATTEST: CITY CLERK _____

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

MAYOR _____

ATTEST: CITY CLERK _____

CLERK AND RECORDER'S CERTIFICATE

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS _____ DAY OF _____, 20__, AT ____ O'CLOCK __.M.

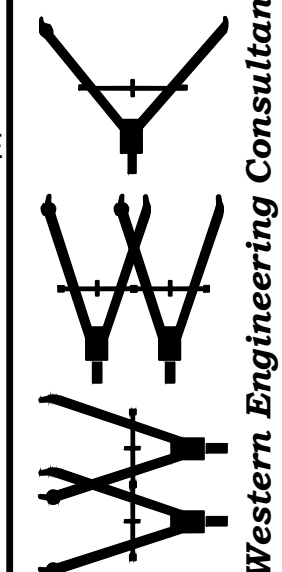
ADAMS COUNTY CLERK AND RECORDER _____

BY: DEPUTY CLERK _____

SHEET INDEX:

- 1 COVER SHEET
- 2 PROJECT NOTES
- 3 SITE PLAN

127 S. DENVER AVE
 FT. LUPTON, CO 80621
 www.westerneci.com
 email@westerneci.com
 (720) 685-9951
 FAX (720) 294-1330



NO.	DATE	BY	REVISION
0	05/25/22	CFC	INITIAL RELEASE
1	07/22/22	CFC	REV PER CITY COMMENTS
2	08/25/22	CFC	REV PER CITY COMMENTS
3	01/25/23	CFC	REV PER CITY COMMENTS
4	02/09/23	CFC	REV PER CITY COMMENTS

COVER SHEET
ELITE MOTORS
8160 SHERIDAN BLVD
 CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO

ONLY VALID FOR CONSTRUCTION IF SEAL & ORIGINAL SIGNATURE ARE ON EACH SHEET

SHEET
 1 OF 3

DOC CON #
 0001-COVER

THIRD AMENDED PRELIMINARY DEVELOPMENT PLAN
WEST 81ST PLACE AND SHERIDAN SUBDIVISION, LOT 2, BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER,
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 2 OF 3

PUBLIC ART:

CASH-IN-LIEU FOR BOTH THE ART PIECE AND AN IMPROVED SITE SHALL BE PAYABLE BY THE PROPERTY OWNER TO THE CITY IN THE AMOUNT OF \$2,000 PER GROSS ACRE OF THE SUBJECT PROPERTY AT THE TIME OF FINAL PLAT. IF NO PLAT IS NEEDED THEN CASH-IN-LIEU SHALL BE PROVIDED AT THE TIME OF OFFICIAL DEVELOPMENT PLAN RECORDING. FOR A 0.619-ACRE PARCEL (26,946 SQ. FT) A FEE OF \$1,238 IS DUE TO THE CITY.

RECOVERY COSTS:

ANY SUBSEQUENTLY OCCURRING RECOVERY COSTS SHALL ALSO BE EFFECTIVE AGAINST THE DEVELOPMENT. A RECOVERY COST IS STILL VALID AGAINST A DEVELOPMENT EVEN IF IT IS UNDISCOVERED AND/OR INADVERTENTLY OMITTED FROM THE PRELIMINARY OR OFFICIAL DEVELOPMENT PLAN.

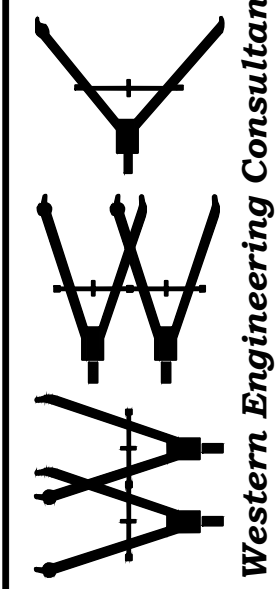
SERVICE COMMITMENTS:

MAXIMUM DENSITY OR F.A.R. OF A COMPREHENSIVE PLAN DESIGNATION, PDP USE, OR PREVIOUS ODP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY OR F.A.R. MUST BE DETERMINED BY REVIEWING COMPLETE PROJECT DATA WHEN SUBMITTED WITH EACH ODP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (§11-3-4(C)). SERVICE COMMITMENTS PREVIOUSLY AND EXPLICITLY PROVIDED IN DOCUMENTATION BUT NOT CONSTRUCTED NOR CONNECTED WITHIN A REASONABLE PERIOD REMAIN SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

STANDARD STATEMENTS:

- A. APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN CONSTITUTES A CONCEPT APPROVAL OF THE PLAN SUBJECT TO THE ABILITY OF THE CITY OF WESTMINSTER OR THE LAND OWNER TO PROVIDE NECESSARY SERVICES. DUE TO SERIOUS SHORT-RANGE AND LONG-RANGE LIMITATIONS ON THE RAW WATER SUPPLY, WATER TREATMENT CAPACITY AND SEWAGE TREATMENT CAPACITY OF THE CITY, DEVELOPMENT OF LAND IN ACCORDANCE WITH THIS PLAN MAY NOT BE POSSIBLE. APPROVAL OF THIS PLAN IMPLIES NO COMMITMENT OF THE CITY OF WESTMINSTER TO PROVIDE SERVICES. THE CITY OF WESTMINSTER ADVISES AGAINST DEVELOPMENT OF LAND IN ACCORDANCE WITH THIS PLAN WITHOUT A THOROUGH INVESTIGATION BY THE DEVELOPER OF THE AVAILABILITY OF WATER AND SEWER SERVICE AT THE TIME OF SUCH DEVELOPMENT.
- B. THE LAND USES LISTED AS PERMITTED ON THE PRELIMINARY DEVELOPMENT PLAN (PDP) SHALL BE SUBJECT TO FINAL REVIEW AND APPROVAL AT THE TIME OF OFFICIAL DEVELOPMENT PLAN (ODP) APPROVAL, WITH SAID REVIEW TO INCLUDE THE LOCATION AND NUMBER OF SUCH ESTABLISHMENTS AND THE ACCEPTABILITY OF THE SITE PLAN WITH ACCEPTABLE HEIGHTS, BULK, SETBACKS, AND OPEN SPACE STANDARDS; PLUS THE ARCHITECTURAL DESIGN, THE LANDSCAPING PLAN, AND OTHER TERMS AND CONDITIONS AS ARE STANDARD IN THE REVIEW OF OFFICIAL DEVELOPMENT PLANS.
- C. THE DENSITIES LISTED AS PERMITTED ON THE PRELIMINARY DEVELOPMENT PLAN (PDP) SHALL BE CONSIDERED AS A MAXIMUM AND SHALL BE SUBJECT TO FINAL REVIEW AND APPROVAL AT THE TIME OF OFFICIAL DEVELOPMENT PLAN (ODP) APPROVAL, WITH SAID REVIEW TO INCLUDE THE ACCEPTABILITY OF THE SITE PLAN WITH ACCEPTABLE HEIGHTS, BULK, SETBACKS, AND OPEN SPACE STANDARDS; PLUS THE ARCHITECTURAL DESIGN, THE LANDSCAPING PLAN, AND OTHER TERMS AND CONDITIONS AS ARE STANDARD IN THE REVIEW OF OFFICIAL DEVELOPMENT PLANS.
- D. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. IF YOU HAVE ANY QUESTIONS REGARDING THE CITY'S USE TAX REQUIREMENTS, PLEASE CONTACT THE CITY TAX AUDITOR.
- E. UTILITY EASEMENTS: THE DESIGN OF THE PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE

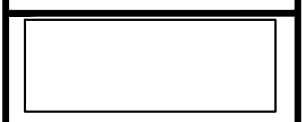
127 S. DENVER AVE
 FT. LUPTON, CO 80621
 www.westerneci.com
 email@westerneci.com
 (720) 685-9951
 FAX (720) 294-1330



Western Engineering Consultants, Inc LLC

NO.	REVISION	DATE	BY
0	INITIAL RELEASE	05/25/22	CFC
1	REV PER CITY COMMENTS	07/22/22	CFC
2	REV PER CITY COMMENTS	08/25/22	CFC
3	REV PER CITY COMMENTS	01/25/23	CFC
4	REV PER CITY COMMENTS	02/09/23	CFC

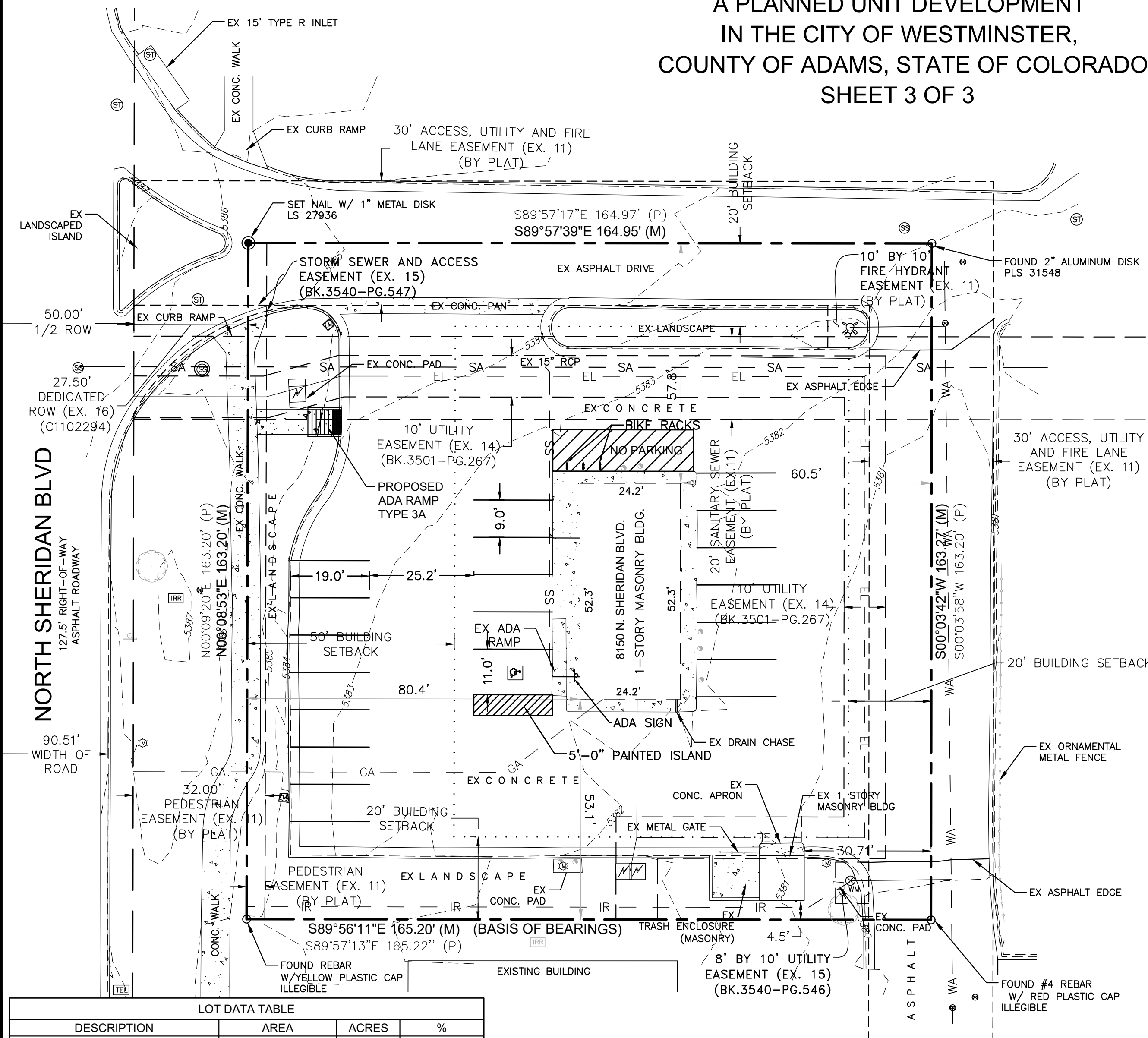
PROJECT NOTES
ELITE MOTORS
 8160 SHERIDAN BLVD
 CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO



ONLY VALID FOR CONSTRUCTION
 IF SEAL & ORIGINAL SIGNATURE
 ARE ON EACH SHEET

SHEET
 2 OF 3
 DOC CON #
 0002-NOTES

THIRD AMENDED PRELIMINARY DEVELOPMENT PLAN
WEST 81ST PLACE AND SHERIDAN SUBDIVISION, LOT 2, BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER,
 COUNTY OF ADAMS, STATE OF COLORADO
SHEET 3 OF 3

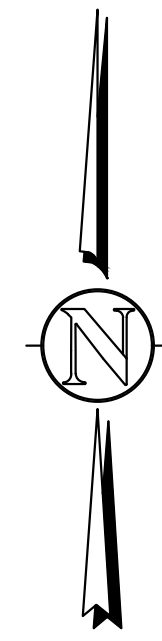
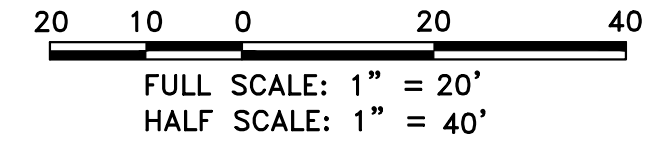


DESCRIPTION	AREA	ACRES	%
EXISTING BUILDINGS	1,381 SF	0.03 AC	
TOTAL BUILDING	1,381 SF	0.03 AC	5.13 %
EXISTING CONCRETE	18,579 SF	0.43 AC	
PROPOSED CONCRETE	130 SF	0.00 AC	
TOTAL CONCRETE	18,709 SF	0.43 AC	69.43 %
EXISTING ASPHALT	2,593 SF	0.06 AC	
TOTAL ASPHALT	2,593 SF	0.06 AC	9.62 %
TOTAL LOT LANDSCAPE AREA	4,263 SF	0.10 AC	15.82 %
TOTAL ROW LANDSCAPE AREA *	3,475 SF *	0.08 AC *	
TOTAL LANDSCAPE AREA	7,738 SF	0.18 AC	
LOT	26,946 SF	0.62 AC	100.00 %

* ROW LANDSCAPING NOT INCLUDED IN ON-LOT TOTALS

Need fire truck turning exit including fore and aft bumper overhang. Refer to PLN22-0051.

Note: After speaking with the Fire Marshal, it is determined that fire truck access is accomplished from the north and east sides of the property. Lt. Scott Wimmer



NOTES

THIS PLAN IS INTENDED AS THE SITE PLAN FOR ELITE MOTORS.

ALL IMPROVEMENTS ARE PROPOSED UNLESS NOTED AS EXISTING.

IT IS THE OWNER AND/OR THE CONTRACTOR'S RESPONSIBILITY TO ATTAIN ALL APPROPRIATE PERMITS AND REVIEW APPROVALS FROM THE STATE OF COLORADO AND CITY OF WESTMINSTER RESPECTIVELY.

SEE COVER SHEET FOR BASIS OF BEARING & BENCHMARK.

ANY REFERENCE TO EASEMENTS, SURVEY POINTS, OR EXISTING UTILITIES AND FEATURES ARE BASED SOLELY FROM SURVEY INFORMATION PROVIDED BY GSS SURVEYING, LLC. "IMPROVEMENT SURVEY PLAT", DATED OCTOBER 14, 2021.

NOT ALL UNCC UTILITY LOCATES HAVE BEEN PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES ARE LOCATED AND SURVEY PROVIDED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION DRAWING RELEASE.

SYMBOL LEGEND

- | | | | |
|--|------------------|--|------------------|
| | 45 DEG BEND | | THRUST BLOCK TB |
| | 22.5 DEG BEND | | GATE VALVE GV |
| | RESTRAINED PLUG | | CURB STOP |
| | RESTRAINED TEE | | PIPE CROSSING |
| | RESTRAINED CROSS | | SANITARY MANHOLE |
| | RESTRAINED VALVE | | STORM MANHOLE |
| | FIRE HYDRANT | | LIGHT POLE |
| | WATER METER | | |
| | EXISTING CONC | | PROPOSED GRAVEL |
| | EXISTING ASPHALT | | PROPOSED CONC |
| | | | PROPOSED ASPHALT |

LINETYPE LEGEND

- | | |
|--|-------------------------------|
| | LOT / PROPERTY / SECTION LINE |
| | RIGHT OF WAY LINE |
| | EASEMENT |
| | SETBACK |
| | TO BE ABANDONED LOT LINE |
| | EXISTING BUILDING, CURB |
| | EDGE OF ASPHALT or GRAVEL RD |
| | CHAINLINK FENCE |
| | WIRE FENCE |
| | POND WQ W/S |
| | SWALE |
| | EXISTING OVERHEAD ELEC |
| | EXISTING ELECTRICAL LINE |
| | EXISTING STORM LINE |
| | EXISTING SANITARY LINE |
| | EXISTING WATER LINE |
| | EXISTING GAS LINE |
| | EXISTING FIBER OPTIC LINE |
| | EXISTING TELEPHONE LINE |
| | PROPOSED SANITARY LINE |
| | PROPOSED SANITARY SERVICE |
| | PROPOSED STORM LINE |
| | PROPOSED WATER LINE |
| | PROPOSED WATER SERVICE |
| | PROPOSED GAS LINE |
| | PROPOSED ELECTRIC LINE |
| | PROPOSED TELEPHONE LINE |

TRAKIT CASE # PLN21-0131

127 S. DENVER AVE
 FT. LUPTON, CO 80621
 www.westerneci.com
 email@westerneci.com
 (720) 685-9951
 FAX (720) 294-1330
Western Engineering Consultants, inc LLC

SITE PLAN
ELITE MOTORS
8160 SHERIDAN BLVD
 CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO

ONLY VALID FOR CONSTRUCTION
 IF SEAL & ORIGINAL SIGNATURE
 ARE ON EACH SHEET

SHEET
 3 OF 3

DOC. CON #
 0003-SITE

LEGAL DESCRIPTION:
A PORTION OF LOT 2, BLOCK 1, WEST 81ST PLACE & SHERIDAN P.U.D. SUBDIVISION, MAP NO. 719, RECEPTION NO. B805457, DATED MARCH 25, 1988.

PART OF THE SOUTHWEST 1/4 OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M. CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO

SURVEYOR'S CERTIFICATE:
I, SCOTT A. PULLING, BEING A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THIS IMPROVEMENT SURVEY PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY PERFORMED ON OCTOBER 12, 2021, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

SCOTT A. PULLING, P.L.S. 27936

FOR AND ON BEHALF OF
GSS SURVEYING, LLC

SURVEY NOTES:
1. ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED ON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BE COMMENCED MORE THAN 10 YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

2. BASIS OF BEARING IS THE SOUTH LINE OF THE SUBJECT PROPERTY BETWEEN THE MONUMENTS DESCRIBED HEREON.

3. BASIS OF ELEVATION FOR THIS SURVEY IS NAVD 88 DATUM BASED ON GPS OBSERVATION AT AND NEAR THE SITE.

4. CONTOUR INTERVAL: 1 FOOT.

5. LINEAL UNIT OF MEASURE IS U.S. SURVEY FEET.

6. UTILITIES SHOWN WERE PLOTTED BASED ON VISIBLE EVIDENCE AND ARE NOT GUARANTEED ACCURATE OR ALL INCLUSIVE.

7. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY GSS SURVEYING, LLC TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS AND RIGHTS-OF-WAY, IF SHOWN, GSS SURVEYING, LLC RELIED ON THE RECORDED PLAT.

8. FOR BEARINGS/DISTANCES SHOWN; (M) DENOTES MEASURED, (P) DENOTES PLAT, (D) DENOTES DEED, AND (R) DENOTES RECORD.

PROJECT INFORMATION:
ADDRESS: 8160 SHERIDAN BLVD., WESTMINSTER, CO 80003
PARCEL ID: 0171930310012
ZONE: PUD

PROJECT TEAM:
OWNER/DEVELOPER
ELITE AUTO MOTORS
AVAK SHABANYAN
4295 INCA ST.
DENVER, CO 80211
(720) 226-3986

CONTRACTOR
D4 ARCHITECTURE
DEREK PRICE
3550 W 38TH AVE, SUITE 12
DENVER, CO 80211
(303) 946-5389

CIVIL ENGINEER
CHADWIN F. COX, P.E.
WESTERN ENGINEERING CONSULTANTS, INC.
127 SOUTH DENVER AVE.
FORT LUPTON, CO 80621
(720) 685-9951

DEVELOPMENT TIMING & PHASING
IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S ODP OR LATEST ODP AMENDMENT IS MORE THAN THREE (3) YEARS OLD AND NO BUILDING PERMIT HAS BEEN ISSUED, THE ODP OR AMENDED ODP SHALL BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN ACCORDANCE WITH CITY CODE.

THE PROPOSED DEVELOPMENT TIMING AND PHASING FOR THIS PROJECT IS AS FOLLOWS:

TENTH AMENDED OFFICIAL DEVELOPMENT PLAN

WEST 81ST PLACE AND SHERIDAN SUBDIVISION, LOT 2, BLOCK 1

A PLANNED UNIT DEVELOPMENT

IN THE CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 1 OF 12

PERMITTED USES
AUTOMOBILE SERVICING, MAINTENANCE, AND REPAIRS (EXCEPT PROHIBITED USES SHOWN BELOW; ALL SERVICING, MAINTENANCE, AND REPAIRS SHALL BE CONDUCTED WITHIN FULLY ENCLOSED REPAIR BAYS)

AUTOMOBILE SALES, NEW OR USED (ALL VEHICLES SHALL BE FULLY OPERATIONAL AND COMPLETE, CLEAN AND SELLABLE, PROPERLY DOCUMENTED, AND IN STREET-LEGAL CONDITION)

ALL C1 AND B1 ZONING LAND USES, AS LISTED IN THE WESTMINSTER MUNICIPAL CODE, (EXCEPT THOSE USES IN CONFLICT WITH THE COMPREHENSIVE PLAN)

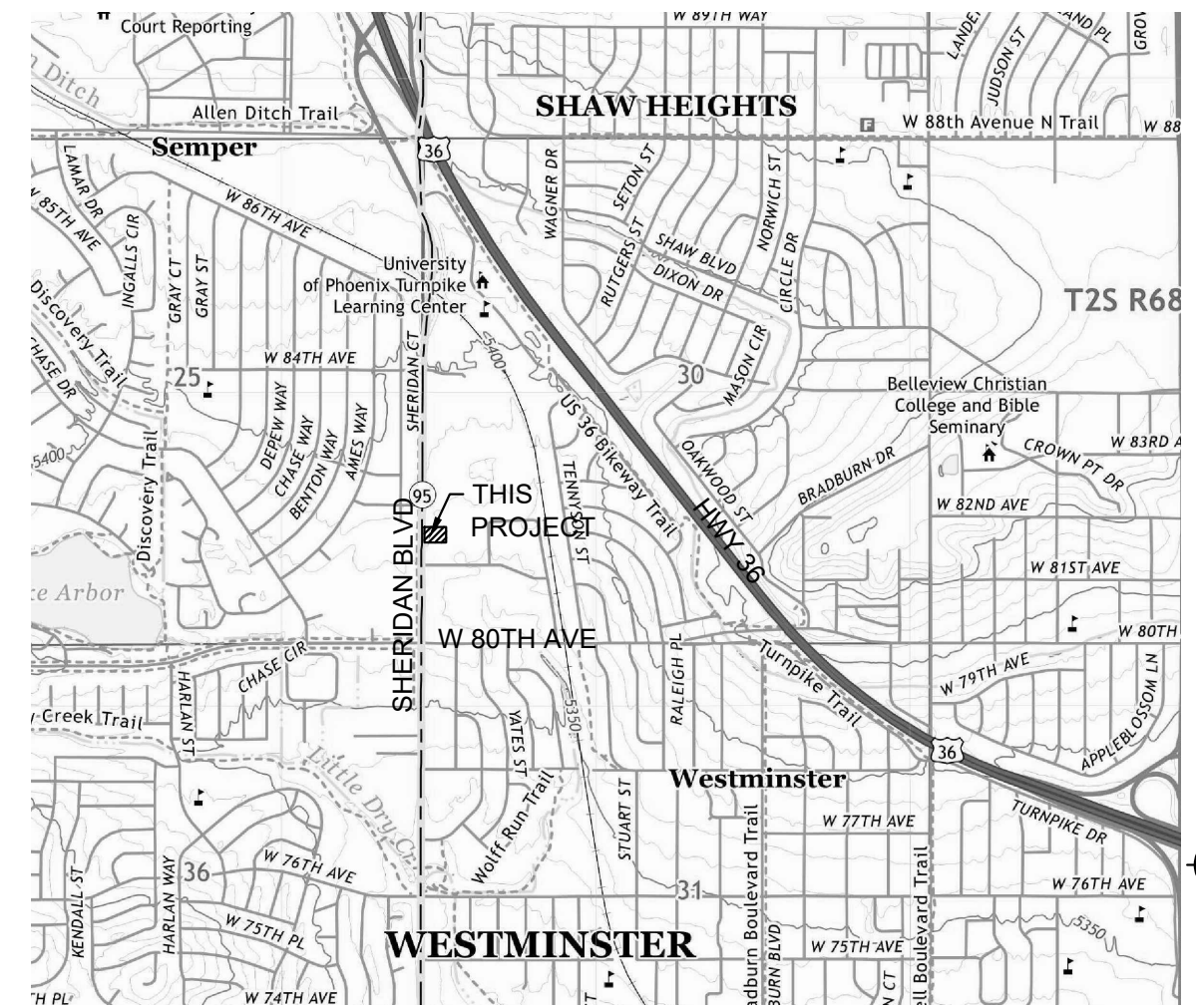
PROHIBITED USES
ANY USES NOT SPECIFICALLY LISTED AS PERMITTED SHALL BE DEEMED PROHIBITED. THE PLANNING MANAGER SHALL DETERMINE IF AN UNLISTED USE OR SET OF USES FALLS INTO THE DEFINITION OF A LISTED PERMITTED USE.

OTHER PROHIBITED USES:
AUTO BODY SHOPS
AUTO PAINT SHOPS
ALL USES IN CONFLICT WITH THE COMPREHENSIVE PLAN
OUTDOOR STORAGE OR DISPLAY (EXCLUDING VEHICLES FOR SALE)

PURPOSE OF AMENDMENT
CREATE SITE DESIGN FOR NEW AUTOMOBILE SALES, NEW OR USED FACILITY

FULL FORCE & EFFECT
ALL PROVISIONS OF THE ORIGINAL ODP, RECORDED AT RECEPTION NO. B752522, PUD # 1049, ON JULY 2, 1987, AND ALL SUBSEQUENT ODP AMENDMENTS SHALL REMAIN IN FULL FORCE AND EFFECT, EXCEPT AS OTHERWISE NOTED HEREIN.

ZONING & LAND USE
CURRENT ZONING & LAND USE:
PUD, VACANT
COMMERCIAL BUILDING
PROPOSED ZONING & LAND USE:
PUD, AUTOMOBILE SALES, NEW OR USED
COMPREHENSIVE PLAN:
SERVICE COMMERCIAL



VICINITY MAP SCALE 1" = 2,000'
SW 1/4 SECTION 30, TOWNSHIP 2 SOUTH RANGE 68 WEST
SHOWN VICINITY MAP TAKEN FROM USGS QUAD MAP - ARVADA, CO

ZONING & LAND USE

	ZONING	LAND USE	COMP. PLAN DESIGNATION
NORTH:	PUD	VACANT; (FORMERLY "SONIC")	SERVICE COMMERCIAL
SOUTH:	PUD	COMMERCIAL; ("MONEY TREE")	SERVICE COMMERCIAL
EAST:	PUD	COMMERCIAL; ("LIFE STORAGE")	SERVICE COMMERCIAL
WEST:	CITY OF ARVADA	RETAIL / COMMERCIAL	CITY OF ARVADA

LOTS AND COVERAGE

	AREA (SF)	AREA (AC)	LOT COVERAGE (%)
BUILDING COVERAGE:	1,381 SF	0.03 AC	5.13%
PARKING AND DRIVES:	21,302 SF	0.49 AC	79.05%
LANDSCAPE AREA:	4,263 SF	0.10 AC	15.82%
TOTAL SITE AREA:	26,946 SF	0.62 AC	100%

SHEET INDEX:

- 1 COVER SHEET
- 2 GENERAL NOTES
- 3 EXISTING CONDITIONS AND DEMO PLAN
- 4 SITE PLAN
- 5 SITE PLAN - FIRE ROUTE TRACKING
- 6 GRADING PLAN
- 7 SITE DETAILS
- 8 ELEVATIONS
- 9 LANDSCAPE PLAN
- 10 LANDSCAPE DETAILS
- 11 IRRIGATION DETAILS
- 12 PHOTOMETRIC PLAN

OWNER APPROVAL

I, AVAK SHABANYAN [PROPERTY OWNER], DO SO APPROVE THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

SIGNATURE _____

CITY APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

CHAIRMAN _____

CITY CLERK _____

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

MAYOR _____

ATTEST: CITY CLERK _____

CLERK AND RECORDER'S CERTIFICATE

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS _____ DAY OF _____, 20__, AT ____ O'CLOCK ____M.

ADAMS COUNTY CLERK AND RECORDER _____

BY: DEPUTY CLERK _____

127 S. DENVER AVE
FT. LUPTON, CO 80621
www.westerneci.com
email@westerneci.com
(720) 685-9951
FAX (720) 294-1330
Western Engineering Consultants, inc LLC

NO.	REVISION	DATE	BY
0	INITIAL RELEASE	05/25/22	CFC
1	REV PER CITY COMMENTS	06/10/22	CFC
2	REV PER CITY COMMENTS	11/08/22	CFC
3	REV PER CITY COMMENTS	01/20/23	CFC
4	REV PER CITY COMMENTS	02/09/23	CFC
5	REV PER CITY COMMENTS	02/27/23	CFC
6	REV PER CITY COMMENTS	03/15/23	CFC

COVER SHEET
ELITE MOTORS
8160 SHERIDAN BLVD
CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO

FOR REVIEW

ONLY VALID FOR CONSTRUCTION IF SEAL & ORIGINAL SIGNATURE ARE ON EACH SHEET

SHEET
1 OF 12
COVER SHEET

TENTH AMENDED OFFICIAL DEVELOPMENT PLAN
WEST 81ST PLACE AND SHERIDAN SUBDIVISION, LOT 2, BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 2 OF 12

PUBLIC ART:

CASH-IN-LIEU FOR BOTH THE ART PIECE AND AN IMPROVED SITE SHALL BE PAYABLE BY THE PROPERTY OWNER TO THE CITY IN THE AMOUNT OF \$2,000 PER GROSS ACRE OF THE SUBJECT PROPERTY AT THE TIME OF FINAL PLAT. IF NO PLAT IS NEEDED THEN CASH-IN-LIEU SHALL BE PROVIDED AT THE TIME OF OFFICIAL DEVELOPMENT PLAN RECORDING. FOR A 0.619-ACRE PARCEL (26,946 SQ. FT) A FEE OF \$1,238 IS DUE TO THE CITY.

RECOVERY COSTS:

ANY SUBSEQUENTLY OCCURRING RECOVERY COSTS SHALL ALSO BE EFFECTIVE AGAINST THE DEVELOPMENT. A RECOVERY COST IS STILL VALID AGAINST A DEVELOPMENT EVEN IF IT IS UNDISCOVERED AND/OR INADVERTENTLY OMITTED FROM THE PRELIMINARY OR OFFICIAL DEVELOPMENT PLAN.

SERVICE COMMITMENTS:

MAXIMUM DENSITY OR F.A.R. OF A COMPREHENSIVE PLAN DESIGNATION, PDP USE, OR PREVIOUS ODP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY OR F.A.R. MUST BE DETERMINED BY REVIEWING COMPLETE PROJECT DATA WHEN SUBMITTED WITH EACH ODP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (§11-3-4(C)). SERVICE COMMITMENTS PREVIOUSLY AND EXPLICITLY PROVIDED IN DOCUMENTATION BUT NOT CONSTRUCTED NOR CONNECTED WITHIN A REASONABLE PERIOD REMAIN SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

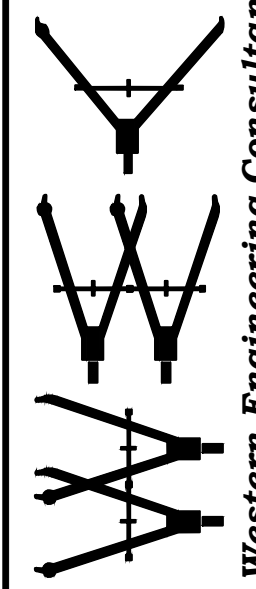
STANDARD STATEMENTS:

- A. THE PROJECT OWNER/DEVELOPER AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION DRAWINGS AND DOCUMENTS COMPLY WITH ALL REQUIREMENTS OF THE ODP. THE PROJECT OWNER/DEVELOPER SHALL BE HELD RESPONSIBLE FOR ANY CONSTRUCTION AND GRADING COMPLETED THAT DOES NOT COMPLY WITH THE APPROVED ODP AND SHALL BE REQUIRED TO MAKE ALL MODIFICATIONS NECESSARY TO BRING THE PROJECT IN COMPLIANCE WITH THE ODP.
- B. THE FINAL PLAT FOR THIS PROJECT MUST BE SUBMITTED FOR CITY APPROVAL WITHIN TWELVE (12) MONTHS OF THE APPROVAL DATE OF THIS OFFICIAL DEVELOPMENT PLAN.
- C. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- D. THE DESIGN OF PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE.
- E. ALL PUBLIC WATER, STORM SEWER AND SANITARY SEWER MAINS AND APPURTENANCES LOCATED IN PUBLIC ROW OR UTILITY EASEMENTS SHALL BE MAINTAINED BY THE CITY OF WESTMINSTER PUBLIC WORKS DEPARTMENT. THE CITY IS NOT RESPONSIBLE FOR REPAIR OR REPLACEMENT OF PAVEMENT, CURB AND GUTTER, LANDSCAPING OR ANY OTHER PRIVATE IMPROVEMENTS WITHIN UTILITY EASEMENTS DAMAGED DURING UTILITY REPAIR OR MAINTENANCE.
- F. UTILITY BOXES ARE TO BE INSTALLED IN THE LOCATION(S) SHOWN ON THIS ODP. ANY PROPOSED REVISIONS TO THE LOCATION(S) SHOWN ON THIS ODP SHALL REQUIRE AN ODP AMENDMENT PRIOR TO THE INSTALLATION OF THE BOXES, AND THE CITY'S APPROVAL OF SUCH AN AMENDMENT MAY BE CONDITIONAL UPON THE PROVISION OF ADDITIONAL SCREENING (E.G. MASONRY WALL AND/OR LANDSCAPING).
- G. THE INSTALLATION AND/OR MAINTENANCE OF ANY AND ALL DRAINAGE IMPROVEMENTS NEEDED TO SERVE THIS SITE, INCLUDING BUT NOT LIMITED TO OFFSITE STORM DRAINAGE DETENTION FACILITIES IS AND REMAINS FOREVER THE RESPONSIBILITY OF THE OWNER, ITS HEIRS, SUCCESSORS, AND ASSIGNS AND WILL NOT BECOME THE PROPERTY OR MAINTENANCE RESPONSIBILITY OF THE CITY OF WESTMINSTER WITH THE EXCEPTION OF DESIGNATED REGIONAL STORMWATER OR WATER QUALITY FACILITIES.
- H. THE PROPERTY OWNER WILL CONVEY TO THE CITY ALL RIGHTS TO NON-TRIBUTARY WATER UNDERLYING THIS PROJECT, AS WELL AS EASEMENTS FOR ACQUISITION OF SUCH WATER AS PART OF THE FINAL PLAT.
- I. STORM DRAINAGE SHALL ONLY BE DISCHARGED ONTO OR ACROSS PUBLIC LAND AS DESCRIBED IN THE APPROVED DRAINAGE STUDY.
- J. ANY NEW FACILITY OR MODIFICATIONS TO AN EXISTING DEVELOPMENT THAT RESULT IN ADDITIONAL WATER USE INCLUDING BUILDING FIXTURES, LANDSCAPE, IRRIGATION OR OTHER WATER USE CATEGORY WILL REQUIRE A REVIEW OF EXISTING AND PROPOSED WATER USE PROJECTIONS. THIS REVIEW MAY RESULT IN AN INCREASE IN TAP FEES.
- K. CITY WILL INSTALL, AT DEVELOPER'S EXPENSE, ALL TRAFFIC CONTROL DEVICES REQUIRED, INCLUDING STREET NAME SIGNS.
- L. PUBLIC STREET LIGHTS WILL BE INSTALLED, AS DESIGNED BY XCEL ENERGY, IN ACCORDANCE WITH THE CURRENT DESIGN STANDARDS EMPLOYED BY XCEL ENERGY AND APPROVED BY THE CITY OF WESTMINSTER, AT THE DEVELOPER'S EXPENSE.
- M. ALL LIGHTING WILL BE DIRECTED DOWNWARD, FULL CUTOFF AND SHIELDED. THE

PHOTOMETRIC PLAN WILL SHOW NO LIGHT TRESPASS TO RESIDENTIAL PROPERTIES, AND MINIMAL OFF SITE FOR OTHER PROPERTY.

- N. ALL ROOFTOP EQUIPMENT ON THE BUILDING WILL BE SCREENED TO ITS FULL HEIGHT AND DESIGNED AS AN INTEGRAL PART OF THE BUILDING ARCHITECTURE.
- O. ALL WATER FEATURES MUST BE FUNCTIONAL AND OPERATE ANNUALLY - AT LEAST FROM MAY 1 THROUGH SEPTEMBER 30.
- P. ALL SIGNAGE PROPOSED / INSTALLED WILL COMPLY WITH THE WESTMINSTER MUNICIPAL CODE SIGNAGE REGULATIONS AND THIS ODP AND MUST BE SEPARATELY REVIEWED AND PERMITTED WITH A VALID SIGN PERMIT. SIGNAGE LOCATIONS SHOWN ON BUILDING ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY WITH THE INTENT OF PROVIDING ACCEPTABLE LOCATIONS WHERE SIGNAGE CAN BE BEST INTEGRATED INTO THE ARCHITECTURE OF THE BUILDING. THESE LOCATIONS ARE INTENDED TO PROVIDE OPTIONS FOR THE BUILDING'S END-USER TO CONSIDER WHEN APPLYING FOR WALL SIGN PERMITS WITH THE UNDERSTANDING THAT THE CITY'S SIGN CODE MAY FURTHER RESTRICT THE MAXIMUM AREA, LOCATION, AND NUMBER OF PROPOSED SIGNS.
- Q. NO TEMPORARY OR PERMANENT ACCESS WILL BE ALLOWED ON, ADJACENT TO, FROM, OR ACROSS PUBLIC OPEN SPACE AND PUBLIC PARKS, EITHER EXISTING OR LAND TO BE DEDICATED, AS PART OF THE DEVELOPMENT PROJECT.
- R. FENCING SHALL BE INSTALLED ON THE PRIVATE SIDE OF THE PROPERTY LINE ADJACENT TO PUBLIC LANDS, EITHER EXISTING OR LAND TO BE DEDICATED AS PART OF THE DEVELOPMENT PROJECT, PRIOR TO ANY CONSTRUCTION AND GRADING ACTIVITY. TEMPORARY FENCING IS TO BE MAINTAINED AND SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION. PUBLIC LAND SHALL NOT BE DISTURBED.
- S. DURING THE CONSTRUCTION PROCESS, THE DEVELOPER AND/OR BUILDER WILL PROVIDE EMERGENCY ACCESS ROADWAYS TO WITHIN 150' OF ALL BUILDINGS AND STRUCTURES, PRIOR TO WALL CONSTRUCTION OR BY SUCH TIME THAT COMBUSTIBLES ARE BROUGHT ON SITE. ANY TEMPORARY ACCESS WILL BE CONSTRUCTED USING A MINIMUM OF 8" OF BASE COURSE AND A SUFFICIENT AMOUNT OF "ALL-WEATHER" SURFACE MATERIAL THAT WILL SUPPORT THE LOAD OF FIRE APPARATUS.
- T. DEVELOPER AND BUILDER SHALL PATROL ON A WEEKLY BASIS THE PUBLIC AND OTHER LANDS ADJACENT TO THE DEVELOPMENT DURING THE CONSTRUCTION PROCESS, AND REMOVE CONSTRUCTION DEBRIS TO KEEP THE ADJACENT LANDS CLEAN AND SAFE.
- U. ADDITIONAL PROJECT NOTES MAY BE FOUND THROUGHOUT THE ODP, INCLUDING STANDARD NOTES FOR LANDSCAPING AND IRRIGATION.

127 S. DENVER AVE
 FT. LUPTON, CO 80621
 www.westerneci.com
 email@westerneci.com
 (720) 685-9951
 FAX (720) 294-1330



Western Engineering Consultants, Inc LLC

NO.	REVISION	DATE	BY
0	INITIAL RELEASE	05/26/22	CFC
1	REV PER CITY COMMENTS	08/10/22	CFC
2	REV PER CITY COMMENTS	11/08/22	CFC
3	REV PER CITY COMMENTS	01/20/23	CFC
4	REV PER CITY COMMENTS	02/09/23	CFC

PROJECT NOTES
ELITE MOTORS
8160 SHERIDAN BLVD
 CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO

FOR REVIEW

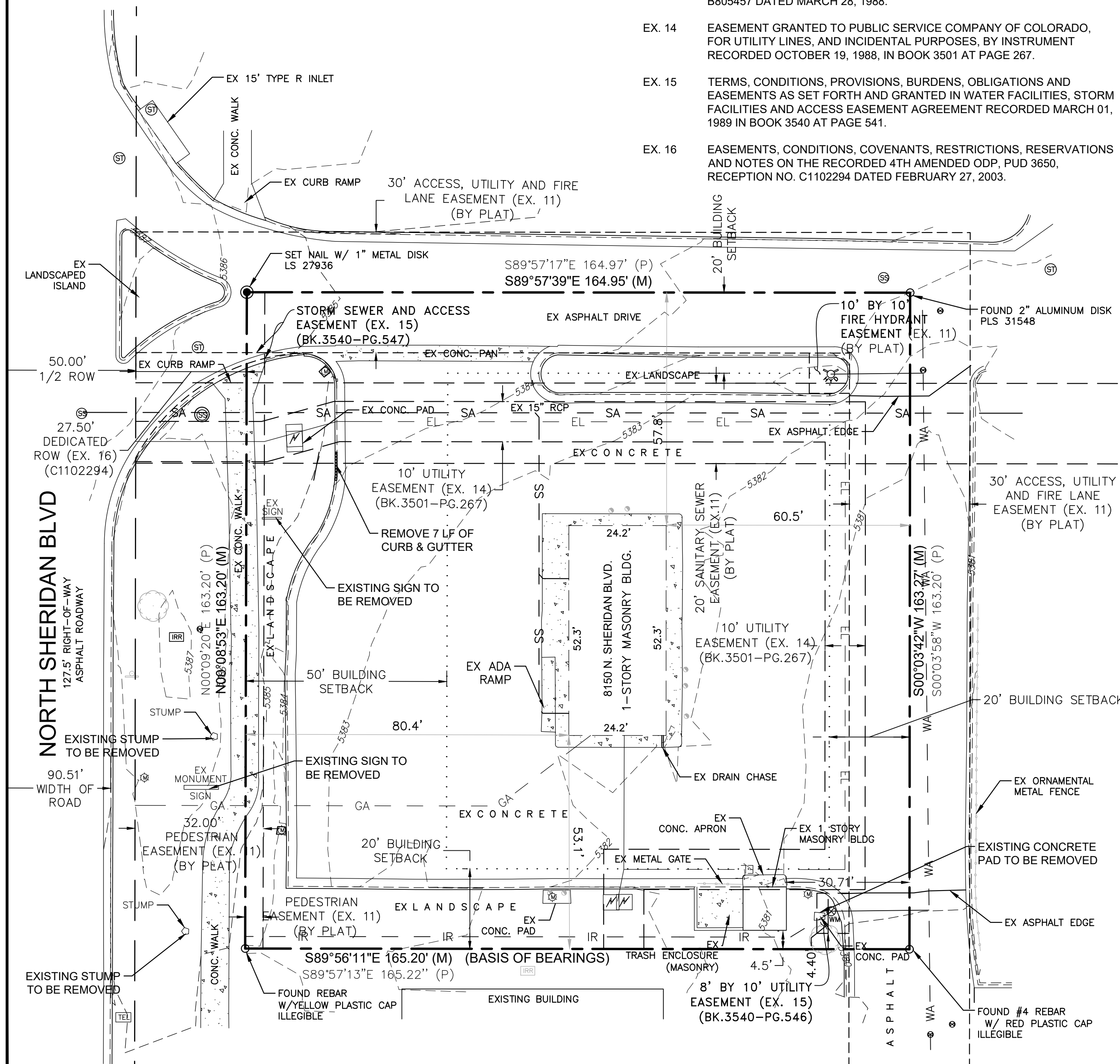
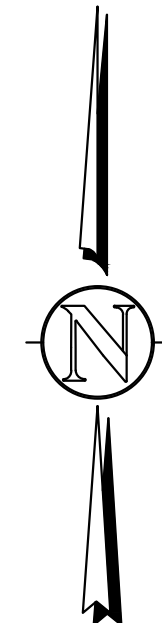
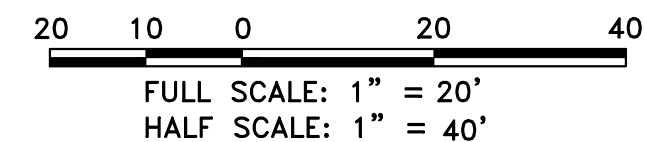
ONLY VALID FOR CONSTRUCTION
 IF SEAL & ORIGINAL SIGNATURE
 ARE ON EACH SHEET

SHEET
 2 OF 12
 PROJECT NOTES

TENTH AMENDED OFFICIAL DEVELOPMENT PLAN
WEST 81ST PLACE AND SHERIDAN SUBDIVISION, LOT 2, BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 3 OF 12

127 S. DENVER AVE
 FT. LUPTON, CO 80621
 www.westerneci.com
 email@westerneci.com
 (720) 685-9951
 FAX (720) 294-1330
Western Engineering Consultants, inc LLC

- EXISTING EASEMENT NOTES:**
- EX. 11 EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE RECORDED PLAT. FILE 16, MAP 719, RECEPTION NO. B805457 DATED MARCH 28, 1988.
 - EX. 14 EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF COLORADO, FOR UTILITY LINES, AND INCIDENTAL PURPOSES, BY INSTRUMENT RECORDED OCTOBER 19, 1988, IN BOOK 3501 AT PAGE 267.
 - EX. 15 TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN WATER FACILITIES, STORM FACILITIES AND ACCESS EASEMENT AGREEMENT RECORDED MARCH 01, 1989 IN BOOK 3540 AT PAGE 541.
 - EX. 16 EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE RECORDED 4TH AMENDED ODP, PUD 3650, RECEPTION NO. C1102294 DATED FEBRUARY 27, 2003.



NOTES

THIS PLAN IS INTENDED AS THE SITE PLAN FOR ELITE MOTORS.

ALL IMPROVEMENTS ARE PROPOSED UNLESS NOTED AS EXISTING.

IT IS THE OWNER AND/OR THE CONTRACTOR'S RESPONSIBILITY TO ATTAIN ALL APPROPRIATE PERMITS AND REVIEW APPROVALS FROM THE STATE OF COLORADO AND CITY OF WESTMINSTER RESPECTIVELY.

SEE COVER SHEET FOR BASIS OF BEARING & BENCHMARK.

ANY REFERENCE TO EASEMENTS, SURVEY POINTS, OR EXISTING UTILITIES AND FEATURES ARE BASED SOLELY FROM SURVEY INFORMATION PROVIDED BY GSS SURVEYING, LLC. "IMPROVEMENT SURVEY PLAT", DATED OCTOBER 14, 2021.

NOT ALL UNCC UTILITY LOCATES HAVE BEEN PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES ARE LOCATED AND SURVEY PROVIDED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION DRAWING RELEASE.

SYMBOL LEGEND

	45 DEG BEND		THRUST BLOCK TB
	22.5 DEG BEND		GATE VALVE GV
	RESTRAINED PLUG		CURB STOP
	RESTRAINED TEE		PIPE CROSSING
	RESTRAINED CROSS		SANITARY MANHOLE
	RESTRAINED VALVE		STORM MANHOLE
	FIRE HYDRANT		LIGHT POLE
	EX WATER METER		PROPOSED GRAVEL
	WATER METER		PROPOSED CONC
	EXISTING CONC		PROPOSED ASPHALT
	EXISTING ASPHALT		

LINETYPE LEGEND

	LOT / PROPERTY / SECTION LINE
	RIGHT OF WAY LINE
	EASEMENT
	SETBACK
	TO BE ABANDONED LOT LINE
	EXISTING BUILDING, CURB
	EDGE OF ASPHALT or GRAVEL RD
	CHAINLINK FENCE
	WIRE FENCE
	POND WQ W/S
	SWALE
	EXISTING OVERHEAD ELEC
	EXISTING ELECTRICAL LINE
	EXISTING STORM LINE
	EXISTING SANITARY LINE
	EXISTING WATER LINE
	EXISTING IRRIGATION LINE
	EXISTING GAS LINE
	EXISTING FIBER OPTIC LINE
	EXISTING TELEPHONE LINE

NO.	DATE	BY	REVISION
0	05/25/22	CFC	INITIAL RELEASE
1	08/10/22	CFC	REV PER CITY COMMENTS
2	11/08/22	CFC	REV PER CITY COMMENTS
3	01/20/23	CFC	REV PER CITY COMMENTS
4	02/09/23	CFC	REV PER CITY COMMENTS

EX CONDITIONS & DEMO PLAN
ELITE MOTORS
 8160 SHERIDAN BLVD
 CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO

FOR REVIEW

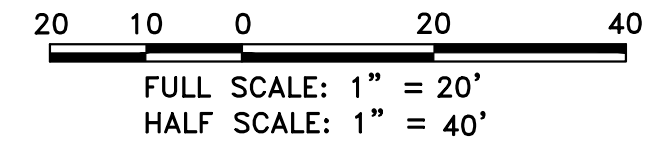
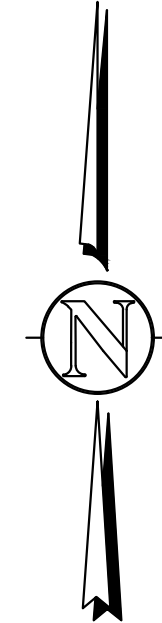
ONLY VALID FOR CONSTRUCTION
 IF SEAL & ORIGINAL SIGNATURE
 ARE ON EACH SHEET

SHEET
 3 OF 12

EX CON & DEMO

TRAKIT CASE # PLN22-0051

TENTH AMENDED OFFICIAL DEVELOPMENT PLAN
WEST 81ST PLACE AND SHERIDAN SUBDIVISION, LOT 2, BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER,
 COUNTY OF ADAMS, STATE OF COLORADO
SHEET 4 OF 12



NOTES

THIS PLAN IS INTENDED AS THE SITE PLAN FOR ELITE MOTORS.

ALL IMPROVEMENTS ARE PROPOSED UNLESS NOTED AS EXISTING.

IT IS THE OWNER AND/OR THE CONTRACTOR'S RESPONSIBILITY TO ATTAIN ALL APPROPRIATE PERMITS AND REVIEW APPROVALS FROM THE STATE OF COLORADO AND CITY OF WESTMINSTER RESPECTIVELY.

SEE COVER SHEET FOR BASIS OF BEARING & BENCHMARK.

ANY REFERENCE TO EASEMENTS, SURVEY POINTS, OR EXISTING UTILITIES AND FEATURES ARE BASED SOLELY FROM SURVEY INFORMATION PROVIDED BY GSS SURVEYING, LLC. "IMPROVEMENT SURVEY PLAT", DATED OCTOBER 14, 2021.

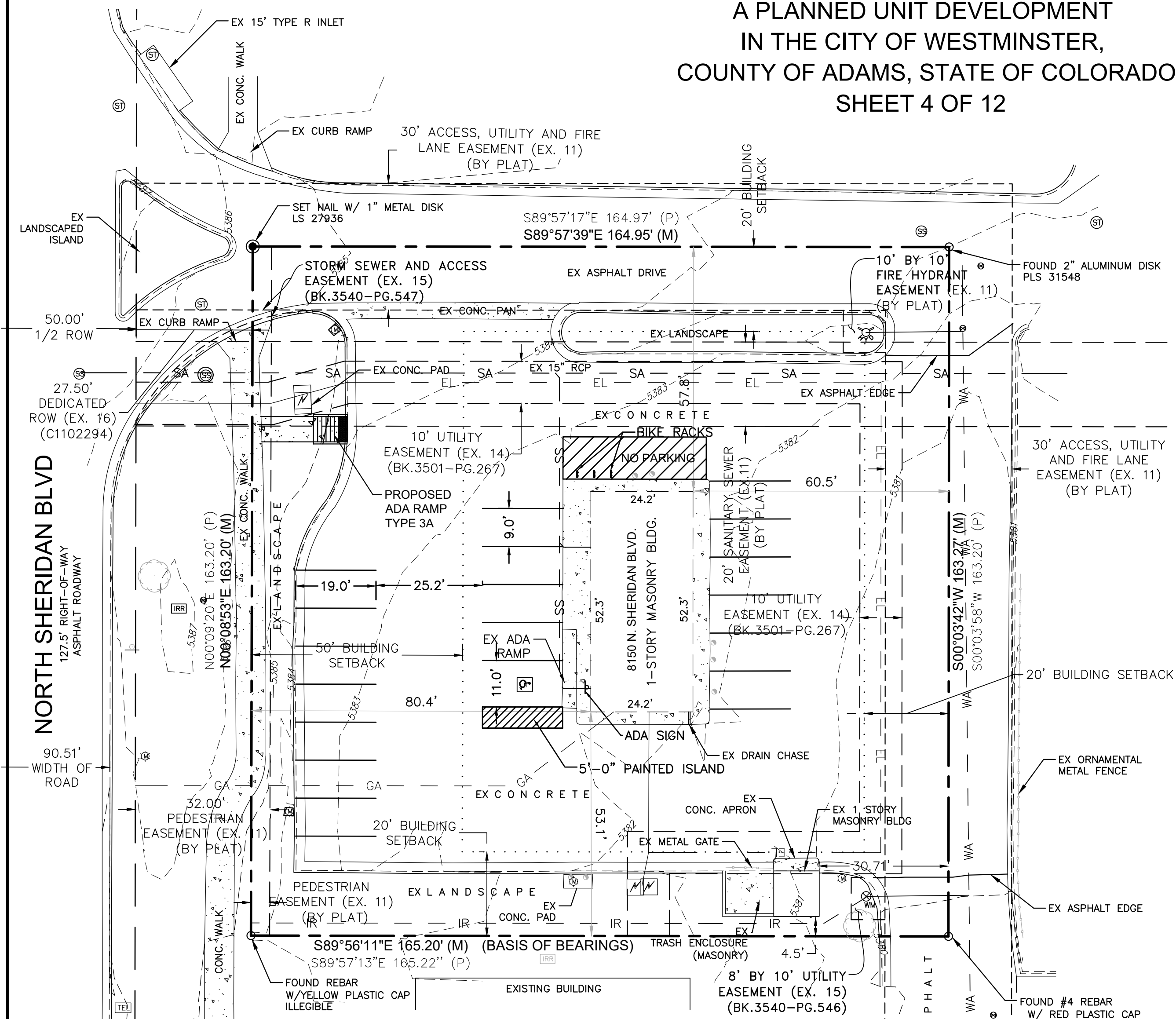
NOT ALL UNCC UTILITY LOCATES HAVE BEEN PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES ARE LOCATED AND SURVEY PROVIDED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION DRAWING RELEASE.

SYMBOL LEGEND

- | | | | |
|--|------------------|--|------------------|
| | 45 DEG BEND | | THRUST BLOCK TB |
| | 22.5 DEG BEND | | GATE VALVE GV |
| | RESTRAINED PLUG | | CURB STOP |
| | RESTRAINED TEE | | PIPE CROSSING |
| | RESTRAINED CROSS | | SANITARY MANHOLE |
| | RESTRAINED VALVE | | STORM MANHOLE |
| | FIRE HYDRANT | | LIGHT POLE |
| | EX WATER METER | | |
| | WATER METER | | PROPOSED GRAVEL |
| | | | EXISTING CONC |
| | | | PROPOSED CONC |
| | | | EXISTING ASPHALT |
| | | | PROPOSED ASPHALT |

LINETYPE LEGEND

- | | |
|--|-------------------------------|
| | LOT / PROPERTY / SECTION LINE |
| | RIGHT OF WAY LINE |
| | EASEMENT |
| | SETBACK |
| | TO BE ABANDONED LOT LINE |
| | EXISTING BUILDING, CURB |
| | EDGE OF ASPHALT or GRAVEL RD |
| | CHAINLINK FENCE |
| | WIRE FENCE |
| | POND WQ W/S |
| | SWALE |
| | EXISTING OVERHEAD ELEC |
| | EXISTING ELECTRICAL LINE |
| | EXISTING STORM LINE |
| | EXISTING SANITARY LINE |
| | EXISTING WATER LINE |
| | EXISTING IRRIGATION LINE |
| | EXISTING GAS LINE |
| | EXISTING FIBER OPTIC LINE |
| | EXISTING TELEPHONE LINE |
| | PROPOSED SANITARY LINE |
| | PROPOSED SANITARY SERVICE |
| | PROPOSED STORM LINE |
| | PROPOSED WATER LINE |
| | PROPOSED IRRIGATION LINE |
| | PROPOSED WATER SERVICE |
| | PROPOSED GAS LINE |
| | PROPOSED ELECTRICAL LINE |
| | PROPOSED TELEPHONE LINE |



DESCRIPTION	AREA	ACRES	%
EXISTING BUILDINGS	1,381 SF	0.03 AC	
TOTAL BUILDING	1,381 SF	0.03 AC	5.13 %
EXISTING CONCRETE	18,579 SF	0.43 AC	
PROPOSED CONCRETE	130 SF	0.00 AC	
TOTAL CONCRETE	18,709 SF	0.43 AC	69.43 %
EXISTING ASPHALT	2,593 SF	0.06 AC	
TOTAL ASPHALT	2,593 SF	0.06 AC	9.62 %
TOTAL LOT LANDSCAPE AREA	4,263 SF	0.10 AC	15.82 %
TOTAL ROW LANDSCAPE AREA *	3,475 SF *	0.08 AC *	
TOTAL LANDSCAPE AREA	7,738 SF	0.18 AC	
LOT	26,946 SF	0.62 AC	100.00 %

* ROW LANDSCAPING NOT INCLUDED IN ON-LOT TOTALS

TYPE	CODE	SPACES REQUIRED	SPACES PROVIDED
VEHICULAR, STANDARD	1 / 300 SF (1,381 SF)	5	17
VEHICULAR, VAN ACCESSIBLE	1 / 25 SPACES	1	1
VEHICULAR, TOTAL		6	18
BICYCLE, TOTAL	1 / 20 SPACES (2 MIN.)	2	4

127 S. DENVER AVE
 FT. LUITON, CO 80621
 www.westerneci.com
 email@westerneci.com
 (720) 685-9951
 FAX (720) 294-1330

Western Engineering Consultants, inc LLC

DATE	BY	REVISION
05/25/22	CFC	INITIAL RELEASE
06/10/22	CFC	REV PER CITY COMMENTS
11/08/22	CFC	REV PER CITY COMMENTS
01/20/23	CFC	REV PER CITY COMMENTS
02/09/23	CFC	REV PER CITY COMMENTS

SITE PLAN
ELITE MOTORS
 8160 SHERIDAN BLVD
 CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO

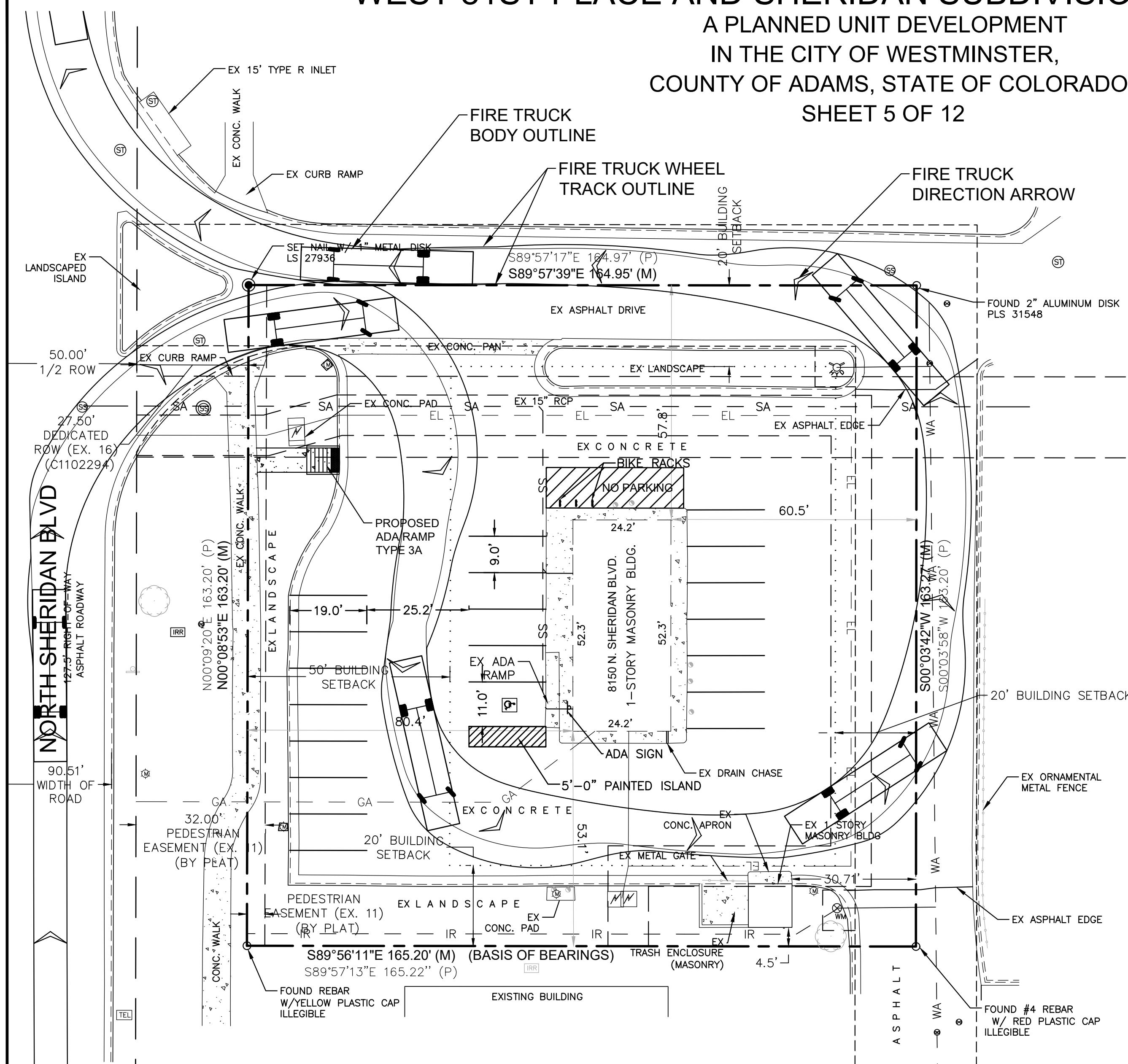
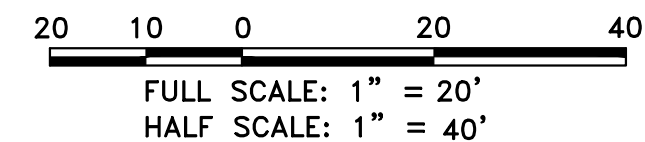
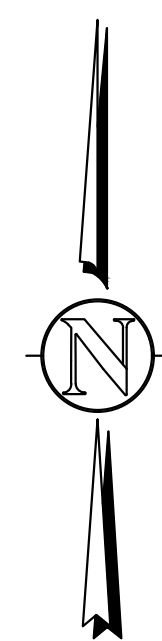
FOR REVIEW

ONLY VALID FOR CONSTRUCTION IF SEAL & ORIGINAL SIGNATURE ARE ON EACH SHEET

SHEET
 4 OF 12
 SITE PLAN

TRAKIT CASE # PLN22-0051

TENTH AMENDED OFFICIAL DEVELOPMENT PLAN
WEST 81ST PLACE AND SHERIDAN SUBDIVISION, LOT 2, BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER,
 COUNTY OF ADAMS, STATE OF COLORADO
SHEET 5 OF 12



NOTES

THIS PLAN IS INTENDED AS THE SITE PLAN - FIRE ROUTE TRACKING FOR ELITE MOTORS.
 ALL IMPROVEMENTS ARE PROPOSED UNLESS NOTED AS EXISTING.
 IT IS THE OWNER AND/OR THE CONTRACTOR'S RESPONSIBILITY TO ATTAIN ALL APPROPRIATE PERMITS AND REVIEW APPROVALS FROM THE STATE OF COLORADO AND CITY OF WESTMINSTER RESPECTIVELY.
 SEE COVER SHEET FOR BASIS OF BEARING & BENCHMARK.
 ANY REFERENCE TO EASEMENTS, SURVEY POINTS, OR EXISTING UTILITIES AND FEATURES ARE BASED SOLELY FROM SURVEY INFORMATION PROVIDED BY GSS SURVEYING, LLC. "IMPROVEMENT SURVEY PLAT", DATED OCTOBER 14, 2021.
 NOT ALL UNCC UTILITY LOCATES HAVE BEEN PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES ARE LOCATED AND SURVEY PROVIDED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION DRAWING RELEASE.

SYMBOL LEGEND

	45 DEG BEND		THRUST BLOCK TB
	22.5 DEG BEND		GATE VALVE GV
	RESTRAINED PLUG		CURB STOP
	RESTRAINED TEE		PIPE CROSSING
	RESTRAINED CROSS		SANITARY MANHOLE
	RESTRAINED VALVE		STORM MANHOLE
	FIRE HYDRANT		LIGHT POLE
	EX WATER METER		PROPOSED GRAVEL
	WATER METER		PROPOSED CONC
	EXISTING CONC		PROPOSED ASPHALT
	EXISTING ASPHALT		

LINETYPE LEGEND

	LOT / PROPERTY / SECTION LINE
	RIGHT OF WAY LINE
	EASEMENT
	TO BE ABANDONED LOT LINE
	EXISTING BUILDING, CURB
	EDGE of ASPHALT or GRAVEL RD
	CHAINLINK FENCE
	WIRE FENCE
	POND WQ W/S
	SWALE
	EXISTING OVERHEAD ELEC
	EXISTING ELECTRICAL LINE
	EXISTING STORM LINE
	EXISTING SANITARY LINE
	EXISTING WATER LINE
	EXISTING IRRIGATION LINE
	EXISTING GAS LINE
	EXISTING FIBER OPTIC LINE
	EXISTING TELEPHONE LINE
	PROPOSED SANITARY LINE
	PROPOSED SANITARY SERVICE
	PROPOSED STORM LINE
	PROPOSED WATER LINE
	PROPOSED IRRIGATION LINE
	PROPOSED WATER SERVICE
	PROPOSED GAS LINE
	PROPOSED ELECTRIC LINE
	PROPOSED TELEPHONE LINE

THE CITY OF WESTMINSTER FIRE MARSHALL HAS DETERMINED THAT APPROPRIATE FIRE APPARATUS TURNING MOVEMENTS ARE AVAILABLE AT THE SITE, AND THAT THE SITE WOULD GENERALLY BE ACCESSED FROM THE NORTH OR EAST SIDES OF THE PROPERTY IN THE EVENT OF AN EMERGENCY. THE APPARATUS MOVEMENT DIAGRAM ON THIS SHEET MAY BE DISREGARDED.
 LT. SCOTT WIMMER - 03/15/2023

127 S. DENVER AVE
 FT. LUITON, CO 80621
 www.westerneci.com
 email@westerneci.com
 (720) 685-9951
 FAX (720) 294-1330
Western Engineering Consultants, inc LLC

DATE	BY	REVISION
01/20/23	CFC	REV PER CITY COMMENTS
02/09/23	CFC	REV PER CITY COMMENTS
02/21/23	CFC	REV PER CITY COMMENTS
03/15/23	CFC	REV PER CITY COMMENTS

SITE PLAN - FIRE ROUTE TRACKING
ELITE MOTORS
 8160 SHERIDAN BLVD
 CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO

FOR REVIEW

ONLY VALID FOR CONSTRUCTION IF SEAL & ORIGINAL SIGNATURE ARE ON EACH SHEET

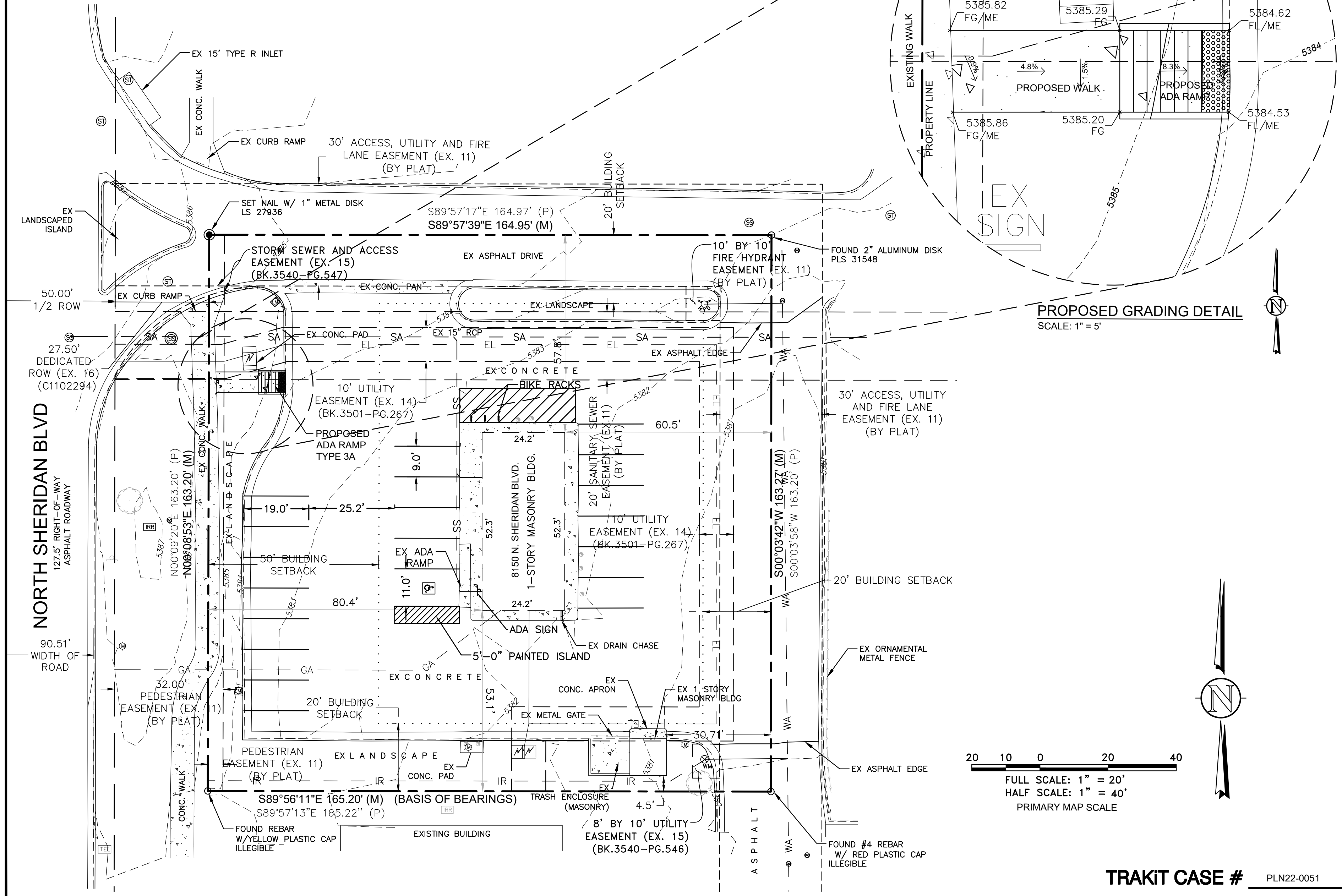
SHEET
 5 OF 12
 SITE PLAN - FIRE ROUTE TRACKING

TRAKIT CASE # PLN22-0051

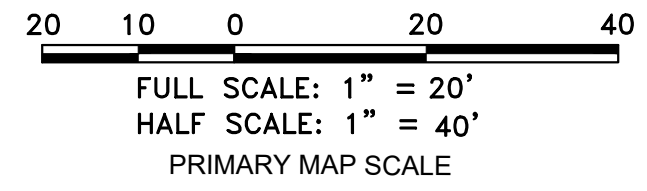
TENTH AMENDED OFFICIAL DEVELOPMENT PLAN
WEST 81ST PLACE AND SHERIDAN SUBDIVISION, LOT 2, BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER,
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 6 OF 12

127 S. DENVER AVE
 FT. LUPTON, CO 80621
 www.westerneci.com
 email@westerneci.com
 (720) 685-9951
 FAX (720) 294-1330
Western Engineering Consultants, inc LLC

NO.	DATE	BY	REVISION
0	05/25/22	CFC	INITIAL RELEASE
1	06/10/22	CFC	REV PER CITY COMMENTS
2	11/08/22	CFC	REV PER CITY COMMENTS
3	01/20/23	CFC	REV PER CITY COMMENTS
4	02/09/23	CFC	REV PER CITY COMMENTS



PROPOSED GRADING DETAIL
 SCALE: 1" = 5'



GRADING PLAN
 ELITE MOTORS
 8160 SHERIDAN BLVD
 CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO

FOR REVIEW

ONLY VALID FOR CONSTRUCTION
 IF SEAL & ORIGINAL SIGNATURE
 ARE ON EACH SHEET

SHEET
 6 OF 12
 GRADING PLAN

TRAKIT CASE # PLN22-0051

TENTH AMENDED OFFICIAL DEVELOPMENT PLAN
WEST 81ST PLACE AND SHERIDAN SUBDIVISION, LOT 2, BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 7 OF 12

127 S. DENVER AVE
 FT. LUPTON, CO 80621
 www.westerneci.com
 email@westerneci.com
 (720) 685-9951
 FAX (720) 294-1330
Western Engineering Consultants, inc LLC

NO.	REVISION	DATE	BY
0	INITIAL RELEASE	05/25/22	CFC
1	REV PER CITY COMMENTS	08/10/22	CFC
2	REV PER CITY COMMENTS	11/08/22	CFC
3	REV PER CITY COMMENTS	01/20/23	CFC
4	REV PER CITY COMMENTS	02/09/23	CFC

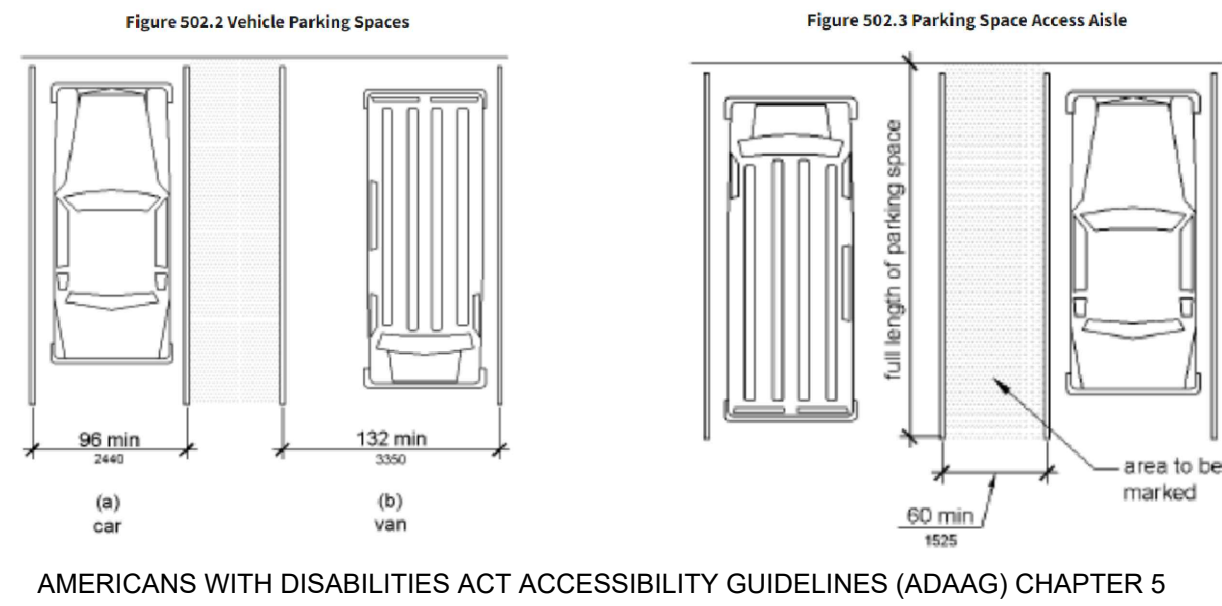
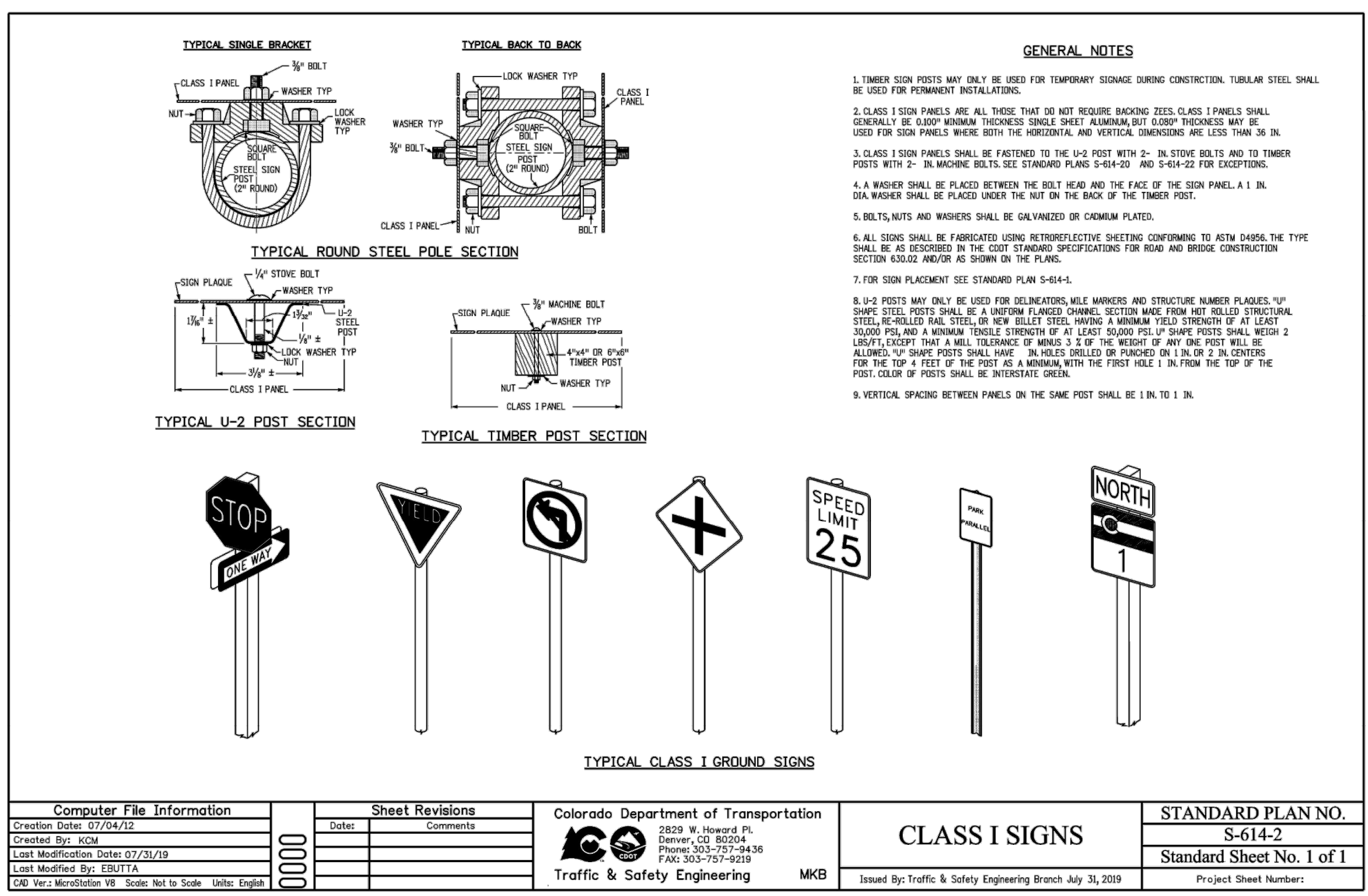
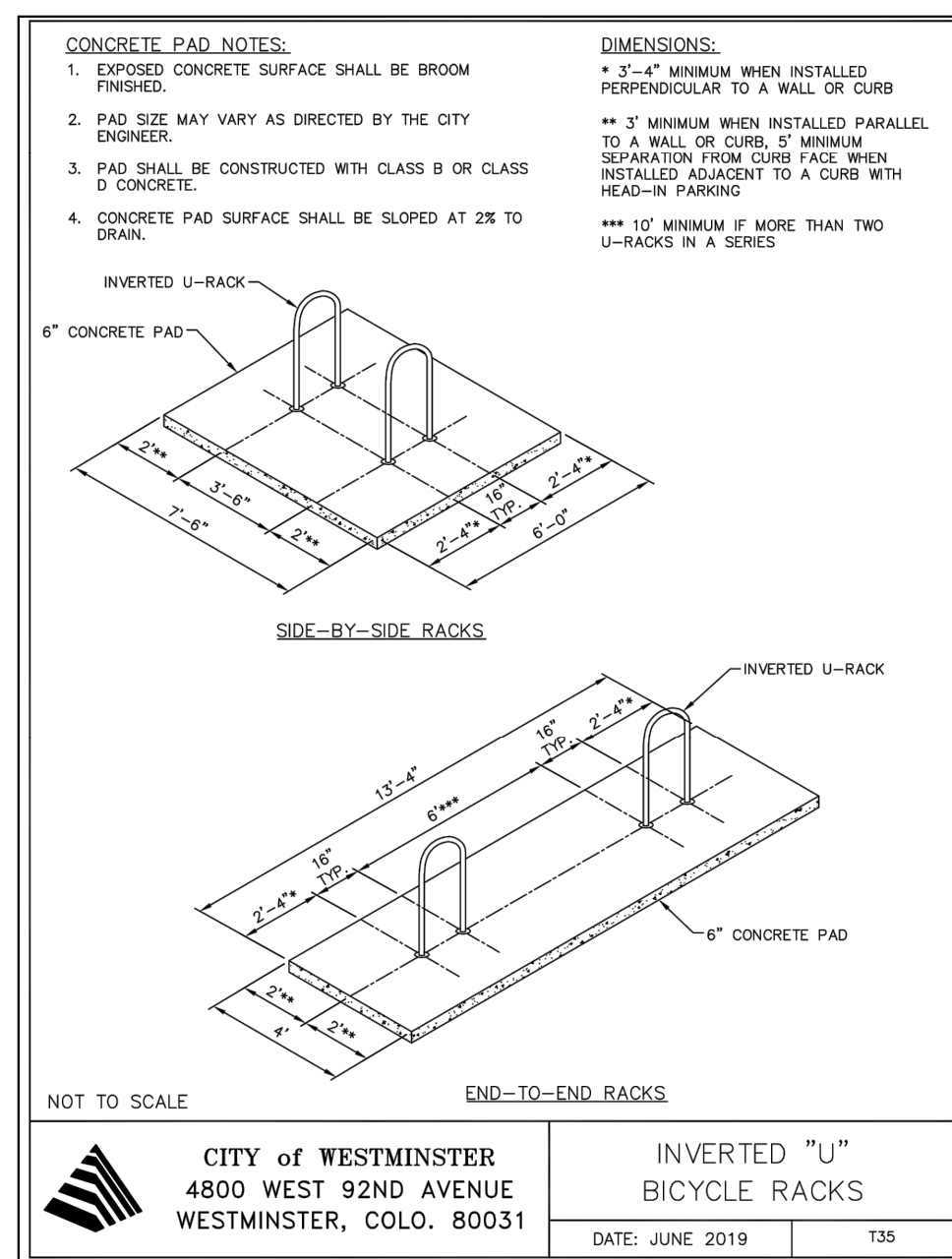
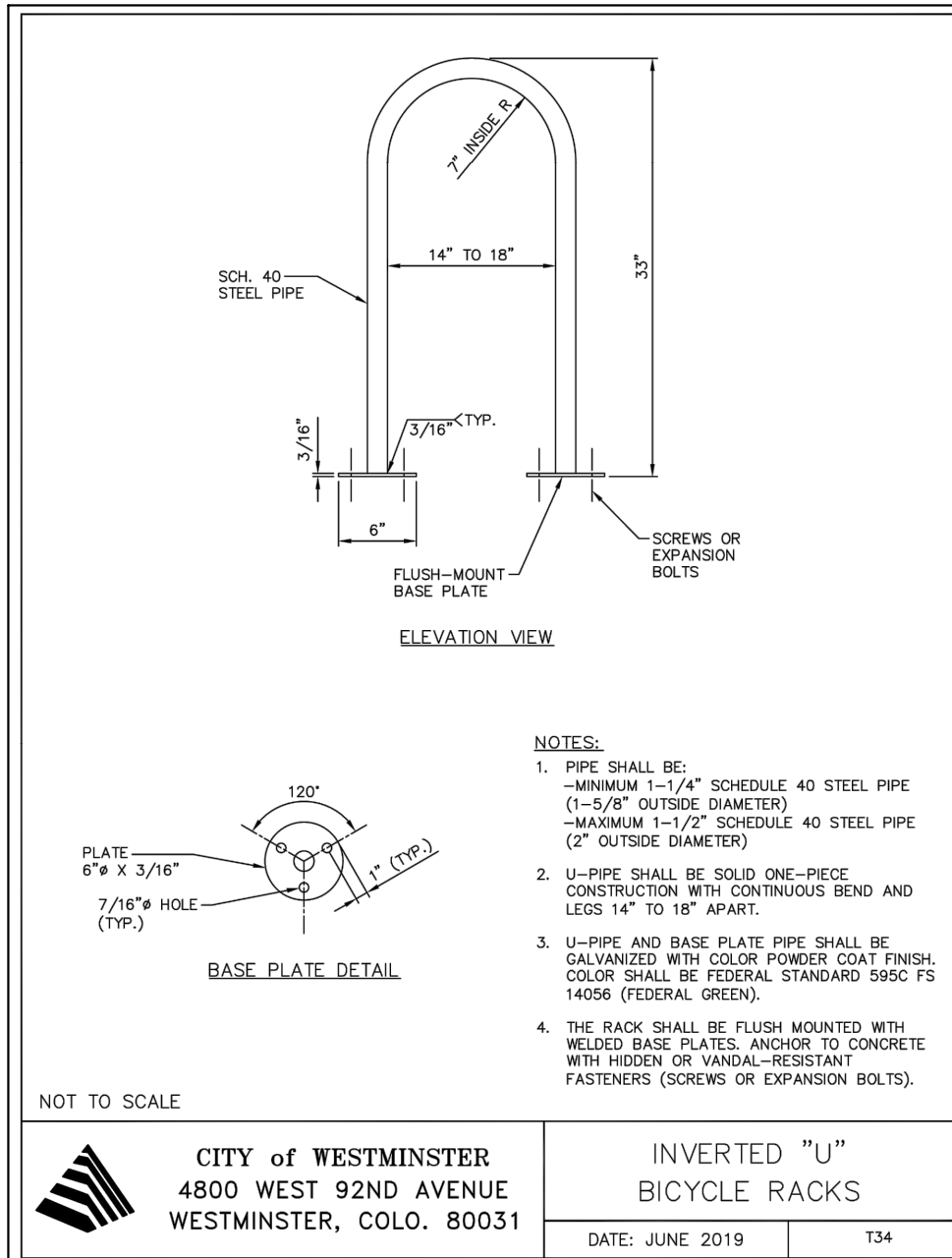
SITE DETAILS
ELITE MOTORS
8160 SHERIDAN BLVD
 CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO

FOR REVIEW

ONLY VALID FOR CONSTRUCTION
IF SEAL & ORIGINAL SIGNATURE
ARE ON EACH SHEET

SHEET
7 OF 12

SITE DETAILS



NO SITE FURNITURE IS ENVISIONED FOR THIS SITE.

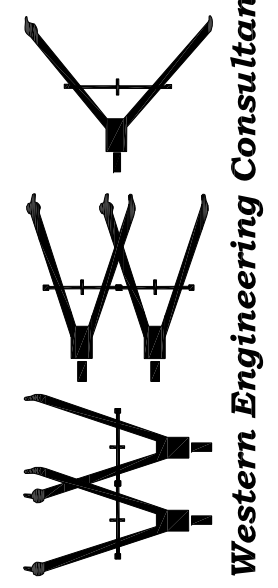
TRAKIT CASE # PLN22-0051

KEYNOTE LEGEND

1	BRICK VENEER
2	CEMENT PLASTER
3	ALUMINUM STOREFRONT SYSTEM. BLACK ANODIZED FINISH
4	FORMED METAL PANEL SIGN BAND
5	CEMENT PLASTER MECHANICAL SCREEN
6	ALUMINUM COPING CAP PAINTED TO MATCH CEMENT PLASTER
7	DIRECT APPLIED CEMENT PLASTER FASCIA
8	PANEL JOINT
9	HOSE BIB
10	DUPLEX ELECTRICAL OUTLET
11	MAIN ELECTRICAL PANEL
12	GAS LINE
13	ELECTRICAL METER
14	ROOF DOWNSPOUT
15	1" INSULATED GLAZING
16	ALUMINUM STOREFRONT DOOR
17	CONCRETE CURB
18	ELECTRICAL TRANSFORMER
19	STEEL FRAMED TRASH DOORS - POWDER COATED

TENTH AMENDED OFFICIAL DEVELOPMENT PLAN
WEST 81ST PLACE AND SHERIDAN SUBDIVISION, LOT 2, BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER,
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 8 OF 12

127 S. DENVER AVE
 FT. LUPTON, CO 80621
 www.westerneci.com
 email@westerneci.com
 (720) 685-9951
 FAX (720) 294-1330



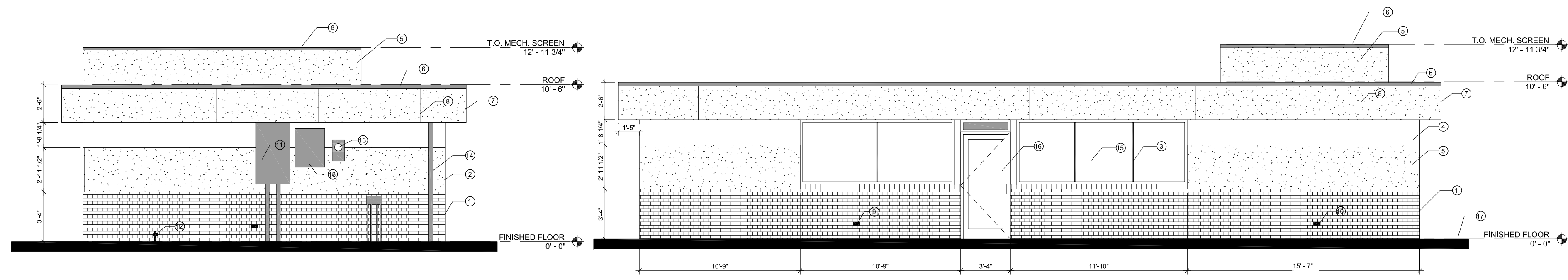
NO.	REVISION	DATE	BY

ELEVATIONS
ELITE MOTORS
 8160 SHERIDAN BLVD
 CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO

ONLY VALID FOR CONSTRUCTION
 F. SEAL & ORIGINAL SIGNATURE

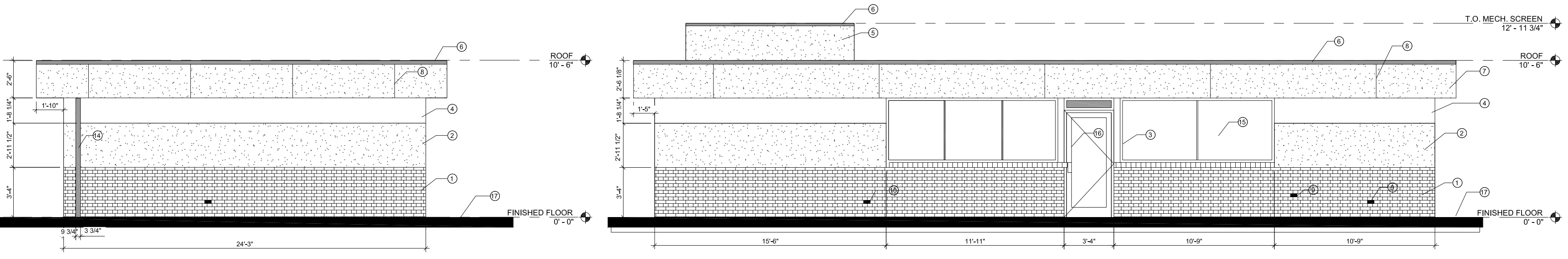
SHEET
 8 OF 12

TRAKIT CASE # PLN22-0051



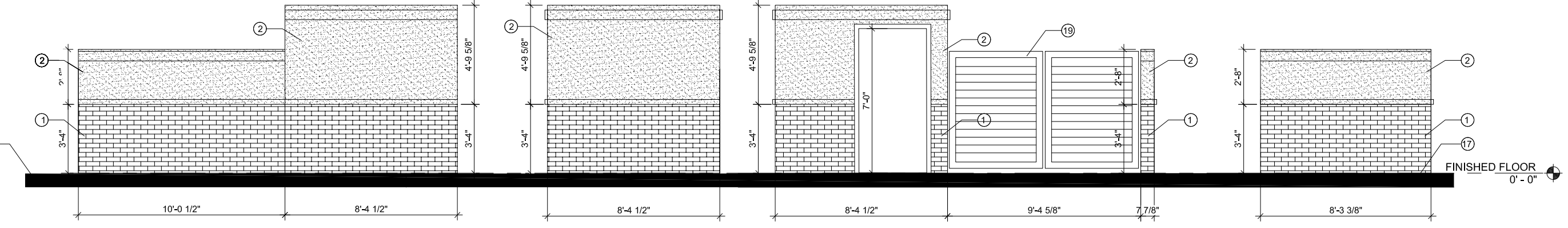
5 SOUTH ELEVATION
 3/16" = 1'-0"

2 WEST ELEVATION
 3/16" = 1'-0"



4 NORTH ELEVATION
 3/16" = 1'-0"

1 EAST ELEVATION
 3/16" = 1'-0"



3 SOUTH TRASH AND OUTBUILDING ELEVATIONS
 3/16" = 1'-0"

EAST

NORTH

WEST

TENTH AMENDED OFFICIAL DEVELOPMENT PLAN
WEST 81ST PLACE AND SHERIDAN SUBDIVISION, LOT 2, BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 9 OF 12

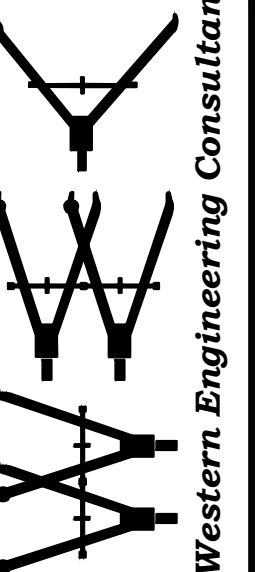
CITY OF WESTMINSTER LANDSCAPE REQUIREMENTS:

1. A MINIMUM OF 20% OF THE SITE SHALL BE LANDSCAPED INCLUDING THE GENERAL LANDSCAPE AREA AND DETENTION POND AREAS, AND EXCLUDING RIGHT-OF-WAY, ROW ADJACENT TO OR WITHIN THE PROPERTY MUST BE LANDSCAPED BY THE DEVELOPER.
2. SOIL PREPARATION, INSPECTION AND VERIFICATION PRIOR TO CERTIFICATE OF OCCUPANCY

STANDARD STATEMENTS:

1. ALL LANDSCAPING SHALL BE IN CONFORMANCE WITH LANDSCAPE REGULATIONS, 2004 EDITION AND ORDINANCE NO. 3133, SERIES OF 2004.
2. THE TOTAL WATER BUDGET SHALL NOT EXCEED 15 GALLONS/SQUARE FEET/IRRIGATION SEASON (YEAR), UNLESS APPROVED OTHERWISE BY THE CITY.
3. LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL, (AS DETERMINED BY THE CITY), SHALL BE REPLACED WITHIN 6 MONTHS OF NOTIFICATION BY THE CITY. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST BE MAINTAINED AS REQUIRED BY THE LANDSCAPE REGULATIONS AND THIS OFFICIAL DEVELOPMENT PLAN.
4. SOIL PREPARATION FOR ALL NON-HARDSCAPE AREAS SHALL INCLUDE TOPSOIL AND/OR ORGANIC MATTER (COMPOST OR AGED GROUND MANURE) AND SHALL BE ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED 8" DEPTH INTO THE SOIL. AN INSPECTION AND AFFIDAVIT REGARDING SOIL PREPARATION WILL BE REQUIRED.
5. ALL SINGLE FAMILY LOTS ARE REQUIRED TO HAVE SOIL AMENDMENT INSTALLED BY THE DEVELOPER IN ALL YARD AREAS NOT COVERED BY HARDSCAPE.
6. AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED FOR ALL LANDSCAPE AREAS. AN IRRIGATION AUDIT WILL BE REQUIRED FOR ALL IRRIGATION SYSTEMS, EXCEPTING THOSE INSTALLED BY THE SINGLE FAMILY DETACHED HOMEOWNER.
7. IRRIGATION SYSTEMS SHALL BE MAINTAINED AND PERIODICALLY ADJUSTED TO ASSURE WATERING EFFICIENCY AND CONSERVATION METHODS. IRRIGATION SHOULD NOT OCCUR BETWEEN THE HOURS OF 10 A.M. AND 6 P.M. IN ORDER TO REDUCE EVAPORATION. EXCESSIVE WATER RUN OFF, AS DETERMINED BY THE CITY, IS NOT PERMITTED.
8. NO TREE OR SHRUB WILL BE PLANTED WITHIN 5' OF A FIRE HYDRANT.
9. ALL SHRUB BED AREAS SHALL BE SEPARATED FROM SOD AREAS BY EDGING MATERIAL. MULCH SHALL BE PLACED OVER A SUITABLE WEED BARRIER FABRIC.
10. FINAL LANDSCAPING AND IRRIGATION DRAWINGS AND PRIVATE IMPROVEMENTS AGREEMENT SHALL BE SUBMITTED TO THE CITY OF WESTMINSTER FOR REVIEW AND APPROVAL PRIOR TO APPROVAL OF FINAL PLAT.
11. DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.

127 S. DENVER AVE
 FT. LUTON, CO 80621
 www.westerneci.com
 email@westerneci.com
 (720) 685-9951
 FAX (720) 294-1330

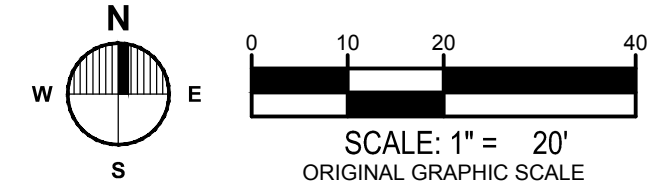
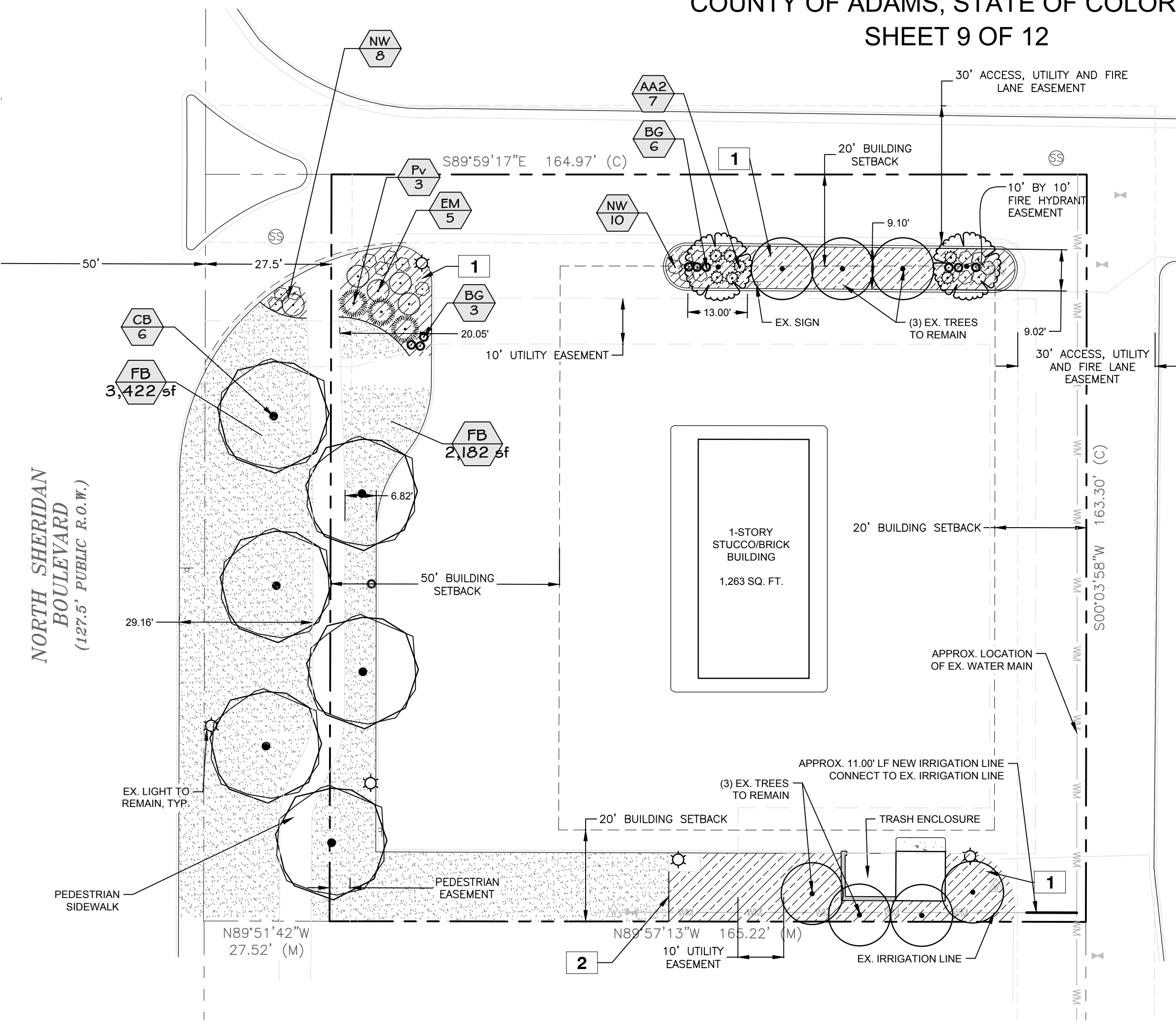


DATE	REVISION

LANDSCAPE PLAN
ELITE MOTORS
8160 SHERIDAN BLVD
CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO

ONLY VALID FOR COMMERCIAL USE OF THIS PLAN. ANY OTHER USE IS VOID.

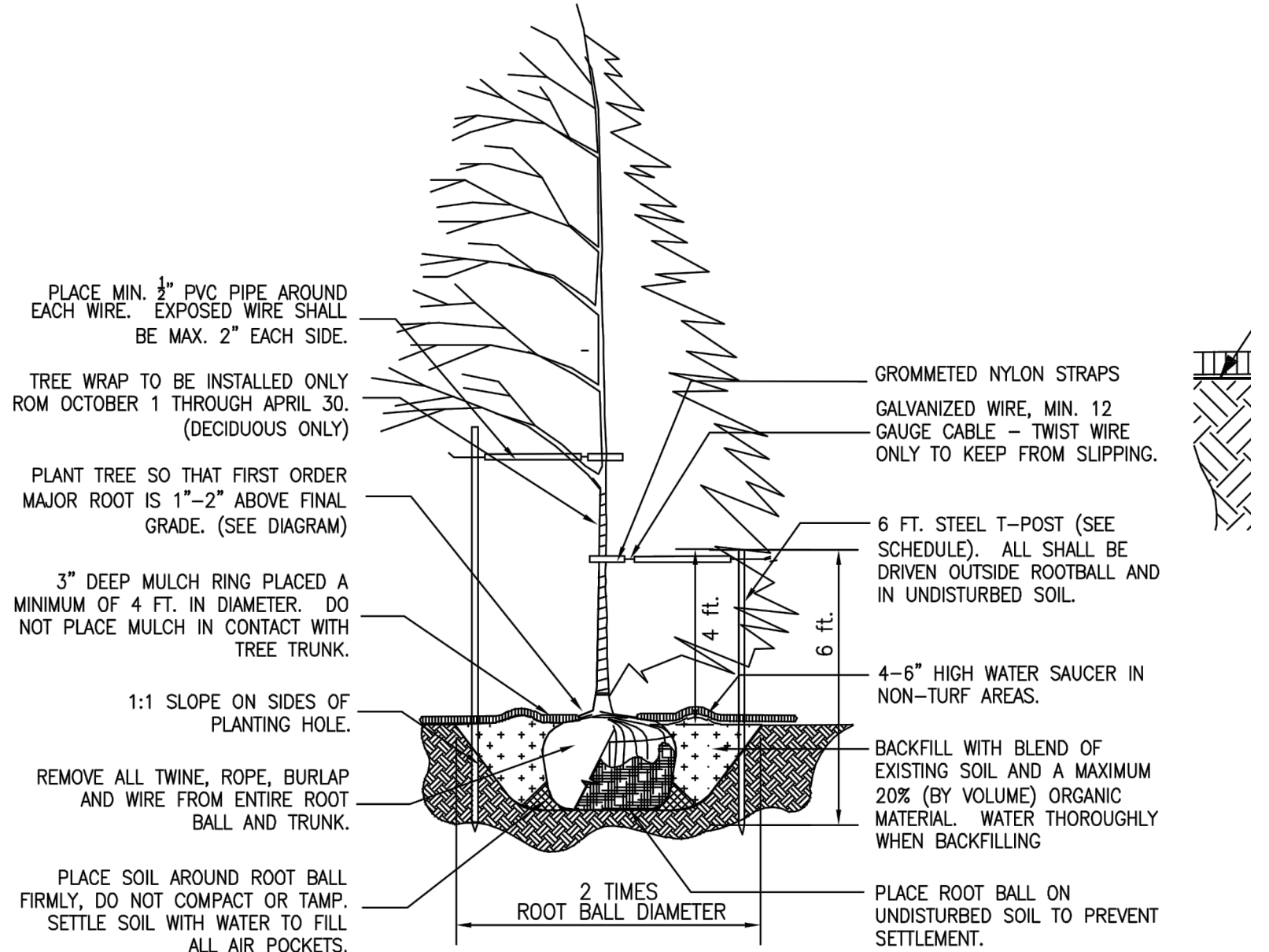
SHEET
9 OF 12



REFERENCE NOTES SCHEDULE		
SYMBOL	DESCRIPTION	QTY
1	1 1/4 Angular Granite - Per client/owner	17.86 cy
2	Rolled top steel edging	29 lf

PLANT SCHEDULE			
TREES	BOTANICAL / COMMON NAME	CONT	QTY
CB	Carpinus betulus 'Fastigiata' / Pyramidal European Hornbeam	2.0" cal.	6
PM	Prunus cerasifera 'Minnesota Newport' / Minnesota Newport Purple-leaf Plum	#15	2
SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY
EM	Euonymus fortunei 'Moonshadow' TM / Moonshadow Wintercreeper	#5	5
ANNUALS/PER ENNIALS	BOTANICAL / COMMON NAME	CONT	QTY
NW	Nepeta x 'Walker's Low' / Walker's Low Catmint	#1	18
GRASSES	BOTANICAL / COMMON NAME	CONT	QTY
BG	Bouteloua gracilis / Blue Grama Grass	#1	9
NATIVE SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY
AA2	Achillea asplenifolia / Western Yarrow	#5	7
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	QTY
FB	Festuca rubra arenaria / Creeping Red Fescue	Seed	5,699 sf

TENTH AMENDED OFFICIAL DEVELOPMENT PLAN
WEST 81ST PLACE AND SHERIDAN SUBDIVISION, LOT 2, BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER,
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 10 OF 12



PLACE MIN. 1/2" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE.

TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30. (DECIDUOUS ONLY)

PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE. (SEE DIAGRAM)

3" DEEP MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.

1:1 SLOPE ON SIDES OF PLANTING HOLE.

REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK.

PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.

GROMMETED NYLON STRAPS
 GALVANIZED WIRE, MIN. 12 GAUGE CABLE - TWIST WIRE ONLY TO KEEP FROM SLIPPING.

6 FT. STEEL T-POST (SEE SCHEDULE). ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL.

4-6" HIGH WATER SAUCER IN NON-TURF AREAS.

BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING

PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.

PRUNING NOTES:

ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKING NOTES:

STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON. FOLLOWS:

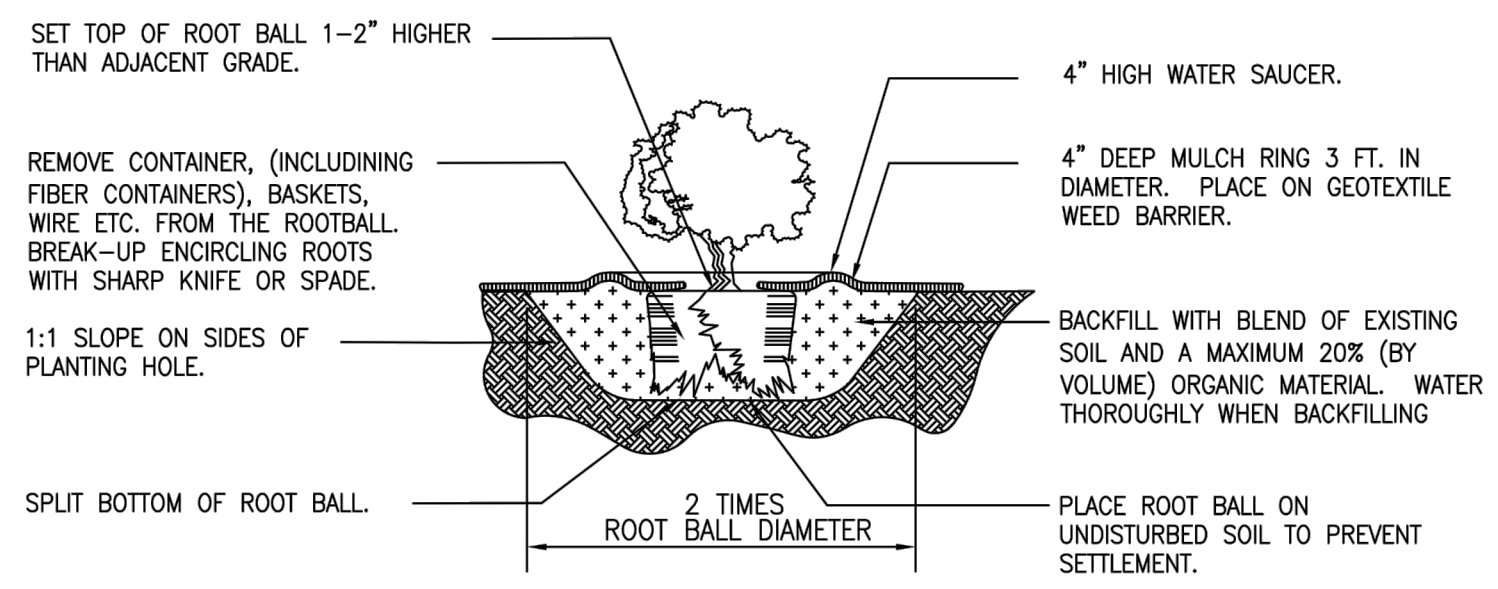
1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE).

1-1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE.

3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM

WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

○ TREE PLANTING DETAIL
 NOT TO SCALE



SET TOP OF ROOT BALL 1-2" HIGHER THAN ADJACENT GRADE.

4" HIGH WATER SAUCER.

REMOVE CONTAINER, (INCLUDING FIBER CONTAINERS), BASKETS, WIRE ETC. FROM THE ROOTBALL. BREAK-UP ENCIRCLING ROOTS WITH SHARP KNIFE OR SPADE.

4" DEEP MULCH RING 3 FT. IN DIAMETER. PLACE ON GEOTEXTILE WEED BARRIER.

1:1 SLOPE ON SIDES OF PLANTING HOLE.

BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING

SPLIT BOTTOM OF ROOT BALL.

PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.

PLACEMENT NOTES:

SET SHRUB PLUMB. SPACE PLANTS, AND PLACE FOR BEST EFFECT.

PRUNING NOTES:

DO NOT HEAVILY PRUNE THE SHRUB AT PLANTING. PRUNE ONLY DEAD OR BROKEN BRANCHES. IF FORM IS COMPROMISED BY PRUNING, REPLACE SHRUB.

○ SHRUB PLANTING DETAIL
 NOT TO SCALE



127 S. DENVER AVE
 FT. LUPTON, CO 80621
 www.westerneci.com
 email@westerneci.com
 (720) 685-9951
 FAX (720) 294-1330

Western Engineering Consultants, Inc LLC

NO.	REVISION	DATE	BY

LANDSCAPE DETAILS
ELITE MOTORS
 8160 SHERIDAN BLVD
 CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO

ONLY VALID FOR CONSTRUCTION IF SEAL & ORIGINAL SIGNATURE ARE ON EACH SHEET

SHEET
 10 OF 12

TENTH AMENDED OFFICIAL DEVELOPMENT PLAN
WEST 81ST PLACE AND SHERIDAN SUBDIVISION, LOT 2, BLOCK 1
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 11 OF 12

CITY OF WESTMINSTER RECLAIMED WATER NOTES:

- Reclaimed water will be used for irrigation only.
- The owner/developer is responsible for designing, building, operating and maintaining the reclaimed facilities at this site in compliance with; the Colorado Department of Public Health and Environment's Reclaimed Water Control Regulation NO. 84, the City of Westminster's City Code Section 8 Chapter 12 Reclaimed/Non Potable Water Regulations, and the City of Westminster's Reclaimed Water Design Specifications.
- The owner/developer must submit two signed copies of the "Reclaimed Water Users Agreement" and the "User Plan to Comply" to the City of Westminster. City Staff will review the "Users Plan to Comply" and submit it to the Colorado Department of Health and Environment for approval. Once the plan is approved a "Notice of Authorization for the Use of Reclaimed Water" will be issued by the Colorado Department of Health and Environment. The "Notice of Authorization" and Reclaimed Water Users Agreement must be received by the City prior to connecting to the reclaimed water system.
- Approved signs shall be posted on the site to notify the public that reclaimed water will be used for irrigation and is not safe to drink. Approved signs are available through the Department of Public Works and Utilities.
- Precautions shall be taken to design and install the landscape and irrigation system to confine reclaimed water to the authorized use area and to ensure that reclaimed water will not be allowed to come in contact with the domestic water system or buildings.
- All piping including private irrigation system piping shall be purple (pantone purple 522c) to differentiate reclaimed water piping from potable water or other piping systems. All irrigation boxes and covers, control valves, sprinkler heads and other appurtenances associated with the reclaimed water system shall be purple and labeled "reclaimed" or "non-potable" water.
- Reclaimed water irrigation systems shall be separately metered for each owner or association responsible for the operation and maintenance of the system. Reclaimed meters shall be purple, have purple registers and be stamped "reclaimed" on the main case.
- Reclaimed Water irrigation systems shall be configured and secured in a manner that only permits operation by authorized personnel. There shall be no reclaimed water hose bib connections or other viable connections accessible to the public.
- Reclaimed irrigation mains shall maintain a 10-foot horizontal offset distance from potable water mains and services and shall also be vertically offset at least 18-inches below potable mains and services. Encasement will be required for clearance less than 18" or when reclaimed is above water.
- Cross-connection with the potable water system is strictly prohibited.
- Reclaimed Water has a higher level of dissolved solids than potable water. Plants tolerant of high salinity should be selected for use in areas irrigated with, or that may potentially be supplied with reclaimed water. If plant materials with lower tolerances are used, the developer shall take those steps necessary to prevent salt build-up in the soil surrounding these plants. Planting locations for salt sensitive species should have good drainage and soil percolation.
- Reclaimed water meter installations shall not have a meter bypass line and valves.
- An approved reduce pressure zone backflow prevention device and pressure regulating valve will be installed on all reclaimed water irrigation systems. Shop drawings shall be submitted to Public Works and Utilities prior to installation.

LANDSCAPE WATER BUDGET					
HYDROZONE	COVERAGE	AREA (SF)	TOTAL WATER USE (GAL)		
LOW	100	7738	X 3 GAL.	23,214	
				TOTAL GAL:	23,214
TOTAL GAL / TOTAL LANDSCAPE AREA =			3	GAL/SF	

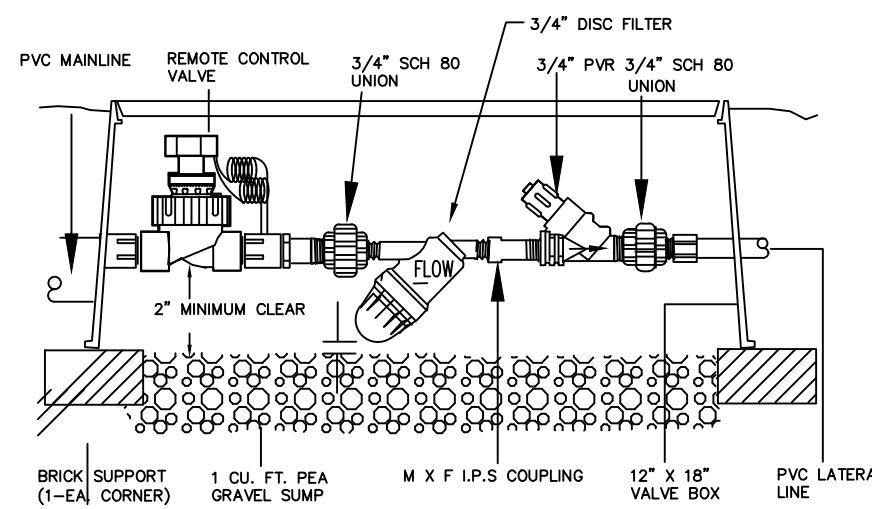
SOIL AMENDMENT REQUIRED				
PRIVATE AREA (SF)	4263 SF	X 5 YDS/1000 SF	21.3100	CU.YDS.
R.O.W AREA (SF)	3475 SF	X 5 YDS/1000 SF	17.3750	CU.YDS.
TOTAL:				CU.YDS.

WATER CONSERVATION NOTES:

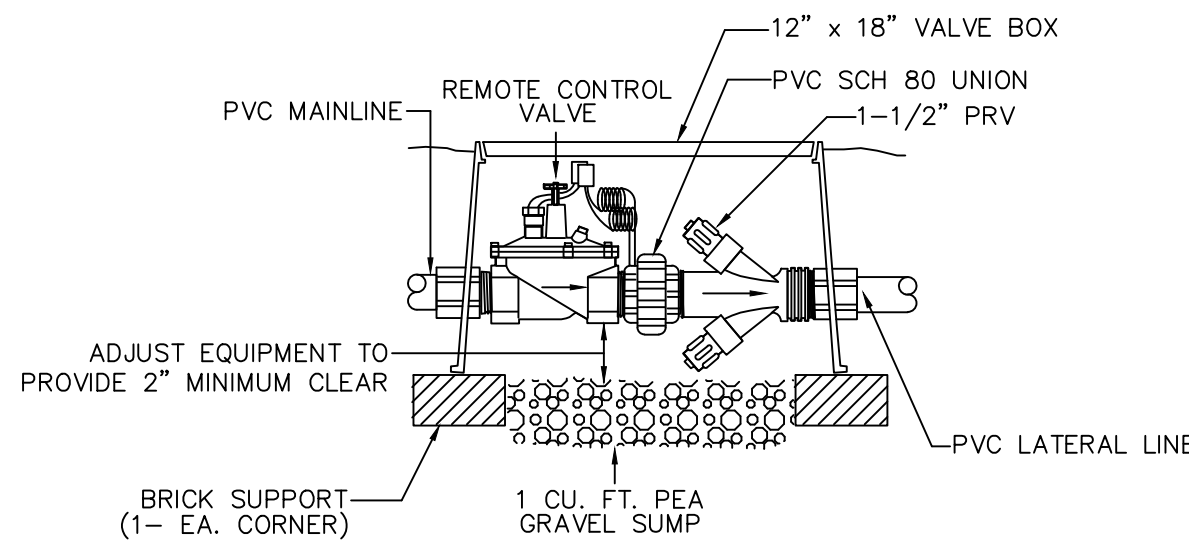
- ALL DETAILS NETAFIM IRRIGATION SYSTEMS OR APPROVED EQUAL.
- AUTOMATIC DRIP IRRIGATION TO ALL PLANTS WITH SMART CONTROLLER, DIGITAL, MULTI PROGRAM.

LANDSCAPE CALCULATIONS (SF):

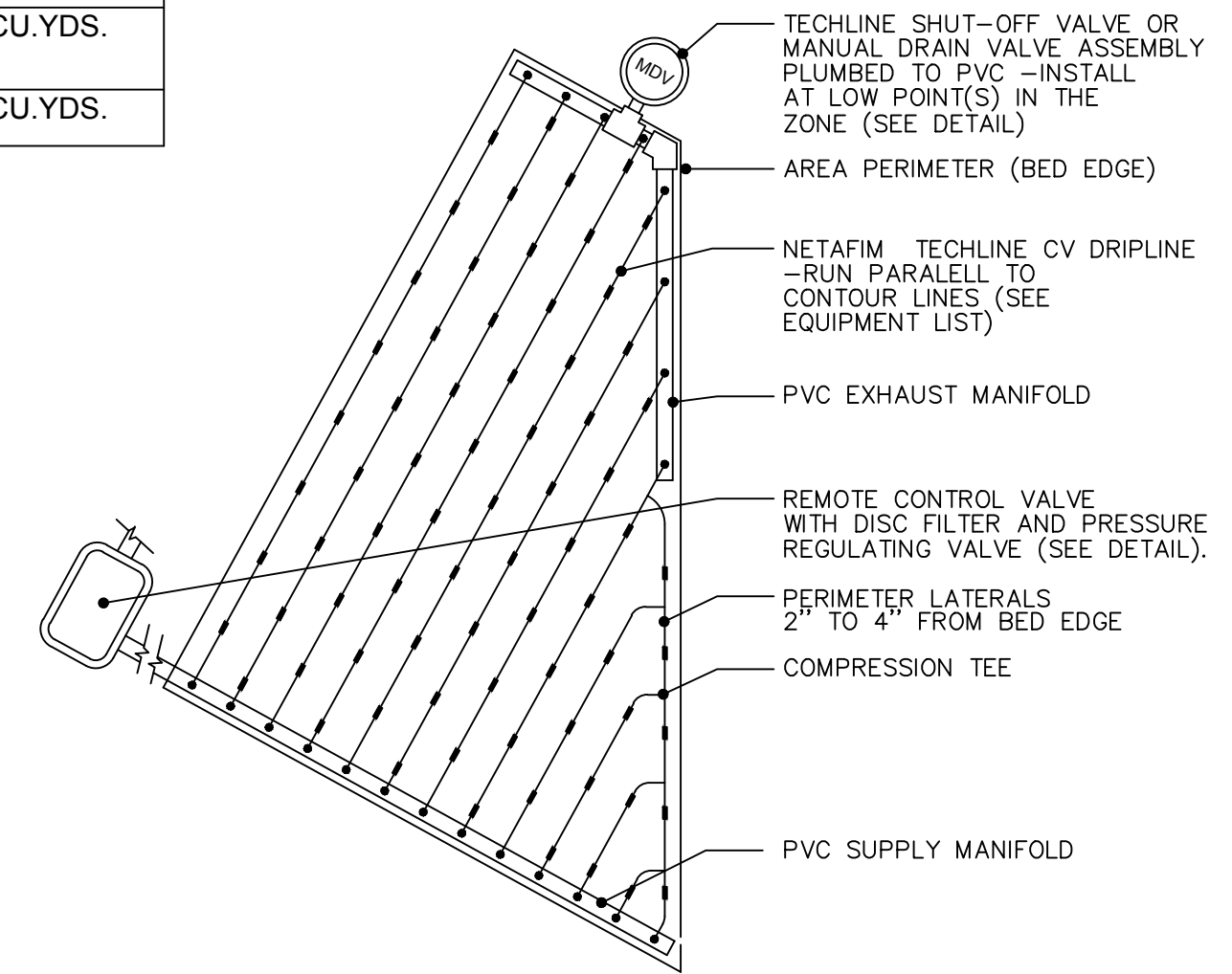
TOTAL SITE = 26,946 SF
 COVERAGE REQUIRED (20%) = 5,390 SF
 TOTAL PLANT COVERAGE PROVIDED = 7738 SF
 TOTAL PRIVATE LANDSCAPE COVERAGE = 4263 SF
 TOTAL PLANT COVERAGE IN RIGHT OF WAY = 3475 SF



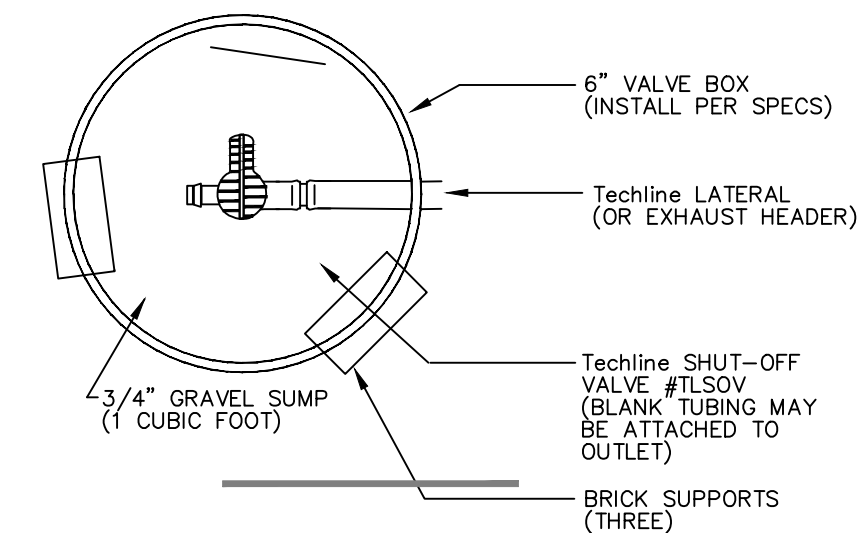
DRIP REMOTE CONTROL VALVE WITH FILTER AND PVR
 NTS



DRIP REMOTE CONTROL VALVE
 NTS

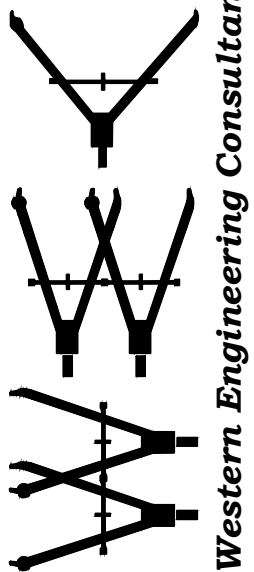


SUBSURFACE IRRIGATION LAYOUT
 NTS



TECHNICAL SHUT-OFF VALVE
 NTS

127 S. DENVER AVE
 FT. LUPTON, CO 80621
 www.westerneci.com
 email@westerneci.com
 (720) 685-9951
 FAX (720) 294-1330



NO.	REVISION	DATE	BY

IRRIGATION PLAN
ELITE MOTORS
 8160 SHERIDAN BLVD
 CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO

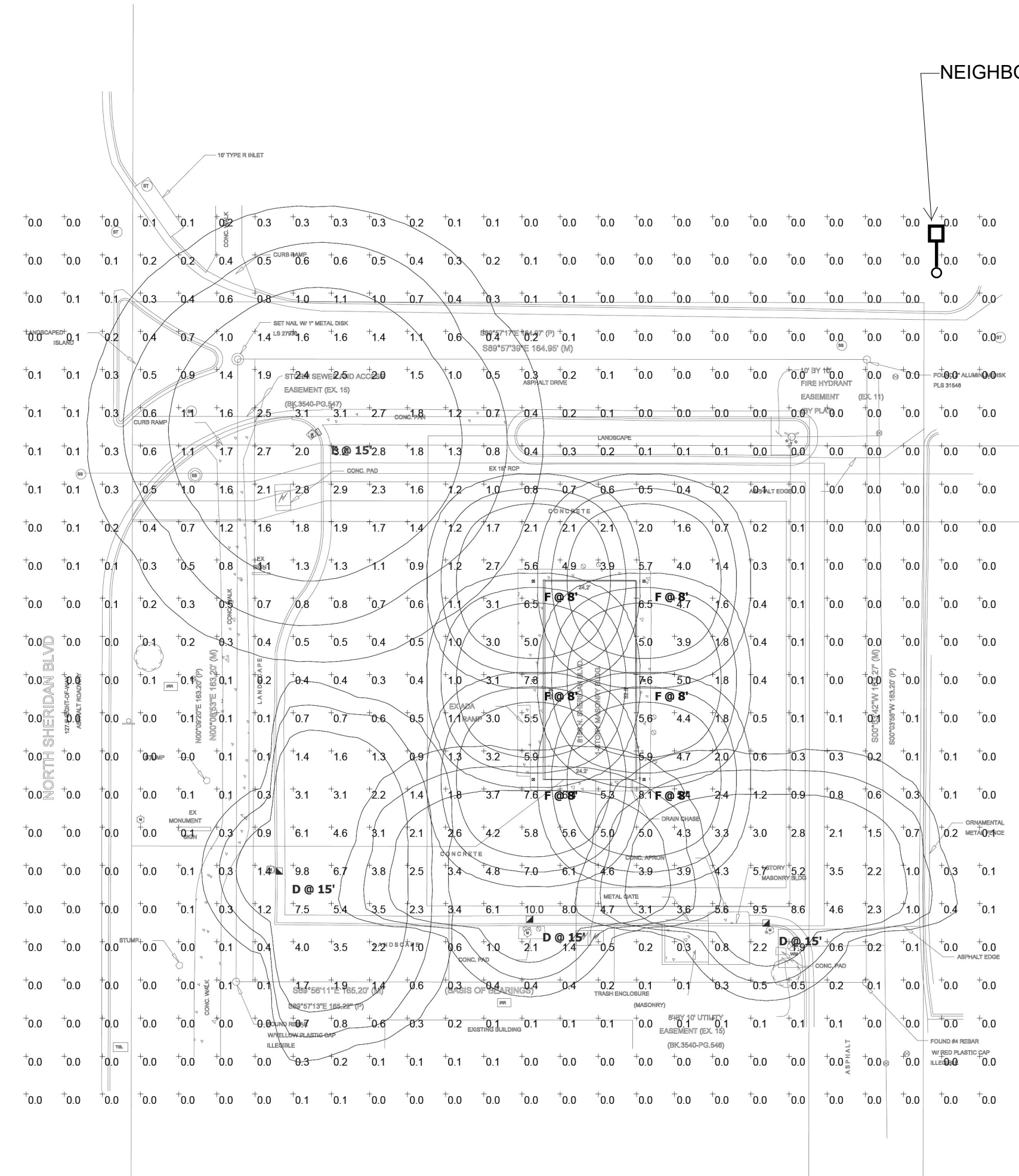
ONLY VALID FOR CONSTRUCTION IF SEAL & ORIGINAL SIGNATURE ARE ON EACH SHEET

TENTH AMENDED OFFICIAL DEVELOPMENT PLAN
WEST 81ST PLACE AND SHERIDAN SUBDIVISION, LOT 2, BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER,
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 12 OF 12

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Filename	Light Loss Factor	Total Lamp Lumens	Wattage	Plot
□	D	3	Lithonia Lighting	RSX1 LED P3 30K R4 HS	RSX Area Fixture Size 1 P3 Lumen Package 3000K CCT Type R4 Distribution with HS Shield	RSX1_LED_P3_30K_R4_HS.ies	1	9394	109.442	
□	E	1	Lithonia Lighting	RSX1 LED P3 30K R5	RSX Area Fixture Size 1 P3 Lumen Package 3000K CCT Type R5 Distribution	RSX1_LED_P3_30K_R5.ies	1	13103	109.44	
⊗	F	6	eLuminaire	CIPS1-G4540K-XX	12" L x 12" W x 2.5" H LED GARAGE FIXTURE	XXXX-G4540K-MV-XX.ies	1	4575	36.24	

Luminaire Locations										
No.	Label	Location					Aim			
		X	Y	Z	MH	Orientation	Tilt	X	Y	Z
2	D	20077.00	10014.00	15.00	15.00	0.00	0.00	20077.00	10015.19	0.00
3	D	20139.00	10013.00	15.00	15.00	0.00	0.00	20139.00	10014.19	0.00
4	D	20009.00	10029.00	15.00	15.00	90.00	0.00	20010.19	10029.00	0.00
1	E	20020.00	10143.00	15.00	15.00	56.31	0.00	20020.81	10143.54	0.00
1	F	20107.00	10105.00	8.00	8.00	0.00	0.00	20107.00	10105.00	0.00
2	F	20078.00	10105.00	8.00	8.00	0.00	0.00	20078.00	10105.00	0.00
3	F	20107.00	10079.00	8.00	8.00	0.00	0.00	20107.00	10079.00	0.00
4	F	20078.00	10079.00	8.00	8.00	0.00	0.00	20078.00	10079.00	0.00
5	F	20107.00	10053.00	8.00	8.00	0.00	0.00	20107.00	10053.00	0.00
6	F	20078.00	10053.00	8.00	8.00	0.00	0.00	20078.00	10053.00	0.00

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.0 fc	10.0 fc	0.0 fc	N/A	N/A



127 S. DENVER AVE
 FT. LUPTON, CO 80621
 www.westerneci.com
 email@westerneci.com
 (720) 685-9951
 FAX (720) 294-1330
Western Engineering Consultants, inc LLC

NO.	REVISION	DATE	BY
0	INITIAL RELEASE	05/25/22	CFC
1	REV PER CITY COMMENTS	08/10/22	CFC
2	REV PER CITY COMMENTS	11/08/22	CFC
3	REV PER CITY COMMENTS	01/20/23	CFC
4	REV PER CITY COMMENTS	02/09/23	CFC

SITE DETAILS
ELITE MOTORS
8160 SHERIDAN BLVD
 CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO

ONLY VALID FOR CONSTRUCTION
 IF SEAL & ORIGINAL SIGNATURE
 ARE ON EACH SHEET

Plan View
 Scale - 1" = 30ft

TRAKIT CASE # PLN22-0051