



WESTMINSTER
COLORADO

**AGENDA
PLANNING COMMISSION PRE-MEETING**

Tuesday, August 22, 2023

***A light dinner for Commissioners and staff will be served from
5:45-6:10 p.m. in Conference Room C
Community Development, City Hall***

***Pre-Meeting Begins at 6:30 p.m.
Council Chambers Board Room
Main Level, City Hall***

ITEM NO. 1: Items for Planning Commission Discussion

None

ITEM NO. 2: Upcoming Planning Commission Meeting Agenda Items

September 12, 2023 Public Hearing and Recommendation on a Rezoning, a Preliminary Development Plan, and an Official Development Plan for Orchard Estates Subdivision Planned Unit Development

Public Hearing and Recommendation on an Official Development Plan for Uplands Filing 1 Block 2 Located at the Southeast Corner of Lowell Boulevard and Chestnut Lane

ITEM NO. 3: Items on This Evening's Agenda

3a) Public Hearing and Recommendation on a Rezoning, a Preliminary Development Plan, and an Official Development Plan for Midland Lofts Planned Unit Development

Prepared by Nathan Lawrence, Senior Planner



PLANNING COMMISSION MEETING AGENDA

1. ROLL CALL
2. CONSIDERATION OF PREVIOUS MEETING MINUTES
Meeting Minutes of August 8, 2023
3. CONSIDERATION OF NEW BUSINESS
 - a. Public Hearing and Recommendation on a Rezoning, Preliminary Development Plan, and Official Development Plan for Midland Lofts Planned Unit Development

Prepared by: Nathan Lawrence, Senior Planner

4. OLD BUSINESS
5. MISCELLANEOUS BUSINESS
6. ADJOURNMENT

PLEASE NOTE

The following are the procedures used by the Planning Commission for in-person meetings.
For participation guidelines please visit www.cityofwestminster.us/pc

1. Staff will present agenda items. The Developer may present after Staff.
2. Those in attendance who favor the proposed development may address the Commission, followed by those who do not favor the proposed development. The Chair may impose time limits on speakers.
PLEASE SIGN THE SHEET IN THE FRONT OF THE COUNCIL CHAMBERS WHEN YOU SPEAK.
3. All questions shall be addressed to the Chair of the Planning Commission. The Chair will call on Staff to address questions at the end of the hearing. Planning Commission reserves the right to question anyone at any time during the Public Hearing.
4. The Commission is charged with the review of Comprehensive Plan Amendments, Rezoning, Preliminary Development Plans, Amended Preliminary Development Plans, Official Development Plans, Amended Official Development Plans, Preliminary Plats and Amended Preliminary Plats that are not approved administratively by the City Manager.
5. There are two different procedures involved in the review of applications for development plan approval and the procedure depends on the type of plan under consideration:
 - a. After review and a public hearing, the Planning Commission may recommend approval of an application, approval subject to specified conditions, or denial of an application. The Planning Commission is **not** the final authority on these applications. The City Council is the final decision maker.
 - b. On applications for Official Development Plans and Amended Official Development Plans, the Planning Commission **does** make the final decision, unless the decision of the Planning Commission is appealed to the City Council within 10 days of the Planning Commission decision by a "party-in-interest," as described in Section 11-5-13(B.1) of the Westminster Municipal Code. If a decision of the Planning Commission is properly appealed to the City Council, the City Council will schedule the item for consideration at one of their upcoming meetings and, after holding a public hearing, make a final decision on the application.

If you need further information regarding this process, or any other matter related to the City's development review process, please contact the City Planning Division at 303-658-2092.

NOTE: Persons needing an accommodation, such as an interpreter for another language, or who have an impairment that requires accommodation, must notify the Planning Aide no later than noon on the Thursday

prior to the scheduled Planning Commission hearing to allow adequate time to discuss arrangements. Please call 303-658-2092/TTY711 or State Relay or email jbaden@cityofwestminster.us to make a reasonable accommodation request.



WESTMINSTER

CITY OF WESTMINSTER
PLANNING COMMISSION
Meeting Minutes
August 8, 2023

1. ROLL CALL

The meeting was called to order at 7:00 pm by Chairperson Jim Boschert. Present were Vice-Chairperson McConnell, Commissioners Lawrence Dunn, Chennou Xiong, Elisa Torrez. Excused from attendance were Commissioners Tracy Colling, Rick Mayo, David Tomecek, and David Carpenter. Also present: Staff members Interim Planning Manager John McConnell, City Clerk Abby Fitch, Senior Planner Jacob Kasza, and Deputy City Attorney Greg Graham. With the roll called, Chairperson Boschert stated that a quorum was present.

CONSIDERATION OF MINUTES

Meeting Minutes from July 25, 2023.

Commissioner Dunn made a motion to accept the minutes from the July 25, 2023, Planning Commission meeting. Vice-Chairperson McConnell seconded the motion. The minutes were unanimously accepted (4-0).

2. CONSIDERATION OF NEW BUSINESS AND PUBLIC HEARINGS

3a) Public Hearing and Recommendation of a Preliminary Development Plan Amendment and an Official Development Plan for Semper Gardens

Jacob Kasza, Senior Planner, entered into the record the agenda memorandum, attachments, PowerPoint presentation, certification of mailed notice, certification of posted notice, and public notice affidavit of publication from the *Westminster Window* on July 27, 2023. Mr. Kasza narrated a PowerPoint presentation for the proposal to:

- a. Hold a public hearing.
- b. Recommend that City Council approve the PDP amendment and ODP for Semper Gardens subject to the additional condition listed in the Summary of Staff Recommendation in the agenda memo.

The applicant team, represented by Jeff Willis from Berkeley Homes gave a brief overview of what would be discussed by the team, narrating a portion of the PowerPoint presentation along with Marcus Pachner from The Pachner Company.

Chairperson Boschert opened the public hearing at 7:30 pm.

Chairperson Boschert asked Ms. Fitch to play the voicemails that were received. There were four voicemails played. Three voicemails were not in favor, in which comments included concerns about environmental issues with tear down, water supply, increased traffic, neighborhood entrance/exits, and urge for xeriscape landscape. One voicemail was in support for the affordability of homes in the development.

There were six individuals that signed up to speak. Comments of concern included traffic at the intersection of 101st Avenue, perimeter fencing around the project, trail connectivity and usage, private/public neighborhood park accessibility, Metro District, asbestos/lead-based paint on the Holtzclaw property, the use of barbed wire per W.M.C. 11-4-6P(6)(a), open space crowding caused by housing density, and not liking the renderings of the plan.

Two comments of support were that there is one developer that is committed to the project and that all units are for-sale units.

Chairperson Boschert closed the public hearing at 8:07 pm.

Commissioner Dunn asked the applicant about the lead paint and asbestos issue. Mr. Willis commented that there were two older homes on the property that the city demolished. There was asbestos found on the property and the applicant is in the process of getting removal proposals, but the property has been stabilized and all can be removed safely. Commissioner Dunn asked the applicant if they would take responsibility for the clean-up. Mr. Willis stated that they will work with the city and landowners on a plan, and it will be completed before any construction takes place.

Chairperson Boschert asked the applicant about the barbed wire. Mr. Willis stated that all that wire would come down as part of the development.

Chairperson Boschert asked staff about the Metro District. Mr. Kasza responded that the Metro District is not part of this neighborhood, and that Mr. Willis has confirmed with staff that they will not be applying for the Metro District.

Vice-Chairperson McConnell stated that he reviewed the Code Section 11-4-6P(6)(a) regarding barbed wire and asked staff if there was ever barbed wire approved in the PDP. Mr. Kasza responded that the approval criteria is for the document itself and it would remove the barbed wire and there is no new barbed wire as part of the PDP.

Chairperson Boschert asked about minimizing the use of natural gas on the project. Mr. Willis responded that it would be a consideration in conjunction with Xcel and the city. The developer is not requesting specifically a reduction of natural gas usage. That decision as well as water usage devices will be made as the development of individual homes gets underway.

Commissioner Xiong asked if the residents of Waverly Acres will have access to the amenities. Mr. Willis confirmed that the intent will be to add public use easement for the park as part of the plat, but the amenity building will be governed by the future HOA.

Commissioner Dunn made a motion recommending that City Council approve the PDP amendment for Semper Gardens. Commissioner McConnell seconded the motion.

Chairperson Boschert stated that the fact that there is only one builder on the project is a positive.

The motion passed (5-0)

Commissioner McConnell made a motion recommending that City Council approve the ODP for Semper Gardens subject to the additional condition listed in the agenda memo. Commissioner Dunn seconded the motion.

The motion passed (5-0)

4. ADJOURNMENT

The meeting was adjourned at 8:19 p.m.

THE WESTMINSTER PLANNING COMMISSION

Jim Boschert, Chairperson

A full recording of the meeting has been posted on The City of Westminster website.
www.cityofwestminster.us/pc



WESTMINSTER

Agenda Memorandum

Agenda Item

Planning Commission Meeting August 22, 2023



*Strategic Priority 3: **Shared Sense of Community** – Foster equitable opportunities that help residents feel at home and connected in their community and empowered to live their best lives.*



*Strategic Priority 5: **Robust Infrastructure** – Provide safe and equitable access to core services and amenities by safeguarding, maintaining, and improving the City's water, wastewater, stormwater, mobility, and roadway systems.*

SUBJECT: Public Hearing and Recommendation on a Rezoning, a Preliminary Development Plan, and an Official Development Plan for Midland Lofts Planned Unit Development

PREPARED BY: Nathan Lawrence, Senior Planner

RECOMMENDED PLANNING COMMISSION ACTION:

1. Hold a public hearing.
2. Recommend City Council approve the Rezoning, Preliminary Development Plan, and Official Development Plan for Midland Lofts Planned Unit Development. This recommendation is based on a finding that the rezoning, Preliminary Development Plan, and Official Development Plan are generally supported by the criteria set forth in Sections 11-5-14 and 11-5-15 of the Westminster Municipal Code.

SUMMARY STATEMENT:

- The proposed development consists of one parcel of land totaling 1.06 acres, located at 7255 Irving Street, see Attachment 1.
- The rezoning from B-1 Business to Planned Unit Development would allow for the adaptive reuse of the existing building for a live/work multifamily project.
- The Preliminary Development Plan (PDP) would add Multi-Family, Townhomes, Single-Family Attached, Professional Offices, Personal Services, Retail Commercial, Live/Work Units, Eating Establishments along with secondary uses as permitted uses on the Midland Lofts Planned Unit Development (PUD) in accordance with the Comprehensive Plan and modify related development standards, see Attachment 2.
- The Official Development Plan (ODP) would allow construction of 18 dwelling units including eight live-work units and 10 multifamily residential units, see Attachment 3.

FISCAL IMPACT:

\$0 in expenditures.

SOURCE OF FUNDS:

Not applicable.

POLICY ISSUE(S):

Should the Planning Commission recommend approval of the rezoning, PDP, and ODP for the Midland Lofts PUD?

ALTERNATIVE(S):

Planning Commission could choose to recommend denial of the rezoning, PDP, and ODP for the Midland Lofts PUD. Staff does not support this alternative as the proposed land uses and modifications to development standards are compatible with the Comprehensive Plan, surrounding land uses, and City Council strategic goals.

BACKGROUND INFORMATION:Overview of Development Review and Entitlement Process

The development review and approval process can vary throughout the City, depending upon the specific property and the proposed development, but typically requires a PDP and ODP pursuant to the land use allowances established by the Comprehensive Plan. The Comprehensive Plan includes specific land use designations that provide a broad range of uses and identify allowed densities and intensities of use. The Westminster Municipal Code (W.M.C.) requires that all development be in compliance with the Comprehensive Plan. If the City Council chooses to approve the rezoning, PDP and ODP, the next steps in the development review process will be to secure the approval of civil construction and building construction documents prior to commencing construction on the site.

History of Subject Property

The existing building at 7255 Irving Street was constructed as an office building and has since been occupied by office users and most recently a school. It has been vacant for a number of years and has had repeated instances of break-ins and vandalism.

Nature of Request

The applicant and property owner are seeking a recommendation of approval of the above referenced rezoning, PDP, and ODP in order to allow the development of an 18-unit multifamily and live/work project on the subject property. Additional land uses are proposed to be added as permitted uses to allow for flexibility in potential future redevelopment. All proposed uses are compliant with the City's Comprehensive Plan designation of Commercial Mixed Use.

Applicant

Dennis Finn, Metro Design Group
(720) 539-9464
Dfinn.metrodgd@gmail.com
P.O. Box 1255
Littleton, CO 80160

Property Owner

Arkadia EH, LLC

Location

Midland Lofts PUD, located on the west side of Irving Street approximately 200-feet north of West 72nd Avenue and addressed at 7255 Irving Street.

Surrounding Land Uses and Designations

Direction	Development Name	Zoning	Comp Plan Designation	Current Use
North	Colorado STEM Academy	B-1	Public/Quasi Public	Sports Field
East	The MAC	B-1/C-1	Public/Quasi Public	Community Center
South	N/A	B-1	Commercial Mixed Use	Vacant Gas Station/Event Center
West	N/A	B-1	Commercial Mixed Use	Vacant Lot

Public Notification

Section 11-5-13(A), W.M.C. requires the following three public notification procedures:

- **Published Notice:** Notice of public hearings scheduled before Planning Commission or City Council shall be published and posted at least ten days prior to such hearing. Notice was published in the *Westminster Window* by the required deadline.
- **Property Posting:** Notice of the public hearing shall be posted on the property by the applicant with a minimum of one sign required for every 660 linear feet of street frontage in a location reasonably visible to vehicular and pedestrian traffic passing adjacent to the site. Sign(s) were posted on the subject property by the required deadline. The applicant has provided the City’s Planning Manager with a certification that the sign(s) were posted and properly maintained throughout the posting period.
- **Written Notice:** The applicant shall send notice of the public hearing by first-class mail to all property owners and addresses within 1,000 feet of the subject property. The applicant has provided the City’s Planning Manager with a certification that the required notices were mailed by the required deadline.

Westminster Municipal Code Analysis

11-5-14. - *Standards for Approval of Planned Unit Development Zoning, Preliminary Development Plans and Amendments to Preliminary Development Plans.*

(A) In reviewing an application for approval of Planned Unit Development zoning and its associated Preliminary Development Plan, or an amended Preliminary Development Plan, the following criteria shall be considered:

1. *The Planned Unit Development (PUD) zoning and the proposed land uses in the associated Preliminary Development Plan are in conformance with the City's Comprehensive Plan and all City Codes, ordinances, and policies.*

The proposed addition of live/work and multifamily land uses, among others, complies with the City's Comprehensive Plan designation of Commercial Mixed Use.

2. *The plan exhibits the application of sound, creative, innovative, or efficient planning and design principles.*

The plan exemplifies key planning principles through the development standards presented in this PDP. The site contains an existing office building that is proposed to be adaptively used to for a multifamily and live/work project. Given the site is located two parcels north of 72nd Avenue, it does not have ideal frontage to support retail development. However, given its location near the existing office and retail businesses, and a relatively high density of nearby residents, the provision of live/work units will help activate the development. The addition of new multifamily residences will increase the population of the area and help bolster existing businesses.

The project will be well-integrated into the existing transportation networks and will function as an effective infill project in this area. Parking is situated behind and to the sides of the building and will be screened with landscaping in order to maintain a strong relationship with Irving Street. Ground level patios have been added to activate the four corners of the building and provide an opportunity for live/work businesses to entice customers. A signage program has been included with the ODP in order to ensure an appropriate pedestrian scale of wall signage and consistency between businesses.

3. *Any exceptions from standard Code requirements or limitations are warranted by virtue of design or special amenities incorporated in the development proposal and are clearly identified on the Preliminary Development Plan (PDP).*

The only exception being requested by the applicant from the Traditional Mixed Use Neighborhood Development (TMUND) Design Guidelines involves the location of parking along the northern and southern sides of the building. Parking has historically been provided in these locations, however the design guidelines state that all parking must be located internal to the site. Given that this is an adaptive reuse project, and that the existing building is set back from Irving Street 30-feet, in order to provide parking in line with City requirements some parking needs to be maintained along the north and south sides of the building. The proposed parking is set back well behind the front façade of the building and will be screened with plantings.

4. *The PDP is compatible and harmonious with existing public and private development in the surrounding area.*

Staff believes that the proposed project is compatible and harmonious with existing development in both building scale and site planning. Adjacent development is mostly single-story strip commercial surrounded by surface parking. Parking for this two-story building will be located to the sides and rear and abundant landscaping will be provided along the Irving Street frontage. In addition, drainage improvements on the site will reduce the risk of flooding to the parcel to the south.

5. *The PDP provides for the protection of the development from potentially adverse surrounding influences and for the protection of the surrounding areas from potentially adverse influence from within the development.*

Given that the existing building is being preserved, and only the use is changing, no negative impacts are expected. Activating the existing building that has been vacant for a number of years will improve community safety and will create homes for new residents that will live, work, shop and play in the Harris Park neighborhood.

- 6. The PDP has no significant adverse impacts upon existing or future land uses nor upon the future development of the immediate area.*

No adverse impacts are anticipated as a result of this PDP. This redevelopment and the associated new residents and businesses should help encourage redevelopment of adjacent vacant and underutilized parcels.

- 7. Streets, driveways, access points, and turning movements are designed in a manner that promotes safe, convenient, and free traffic flow on streets without interruptions, and in a manner that creates minimum hazards for vehicles and pedestrian traffic.*

The existing pair of two-way vehicle access points onto Irving have been converted into a one-way in, one-way out to simplify traffic flows and improve pedestrian safety. The primary entrance into the building faces Irving Street to further engage the street and encourage pedestrian activity. A traffic study is required along with the ODP submittal to ensure that any negative impacts from increased traffic are addressed. Pedestrian connections to the surrounding streets are proposed, enabling residents to easily walk, bike or take transit to nearby locations including Westminster Station.

- 8. The City may require rights-of-way adjacent to existing or proposed arterial or collector streets, any easements for public utilities and any other public lands to be dedicated to the City as a condition to approving the PDP. Nothing herein shall preclude further public land dedications as a condition to ODP or plat approvals by the City.*

Additional right-of-way along Irving Street is required along with the proposed development in order to accommodate future transportation improvements as identified by City Staff. These eight feet of donated property will enable the addition of future bicycle lanes while maintaining existing thru and turning lanes onto 72nd Avenue.

- 9. Performance standards are included that ensure reasonable expectations of future Official Development Plans being able to meet the Standards for Approval of an Official Development Plan contained in Section 11-5-15, W.M.C.*

The land use and development standards requested by the applicant in this PDP will ensure that the ODP associated with the proposed development will conform to all applicable City Codes. Exceptions from the TMUND Design Standards have been listed in the PDP and justification has been provided.

- 10. The applicant is not in default or does not have any outstanding obligations to the City.*

The applicant complies with this criterion.

(B) Failure to meet any of the above-listed standards may be grounds for denial of an application for Planned Unit Development zoning, a Preliminary Development Plan or an amendment to a Preliminary Development Plan.

11-5-15. - Standards for Approval of Official Development Plans and Amendments to Official Development Plans.

(A) In reviewing an application for the approval of an Official Development Plan or amended Official Development Plan, the following criteria shall be considered:

- 1. The plan is in conformance with all City Codes, ordinances, and policies.*

The ODP is in conformance with all City Codes, Ordinances, and policies with exceptions to the TMUND Design Standards in the ODP.

2. *The plan is in conformance with an approved Preliminary Development Plan or the provisions of the applicable zoning district, if other than Planned Unit Development (PUD).*

The plan is in conformance with the PDP amendment that is being considered as part of this development proposal.

3. *The plan exhibits the application of sound, creative, innovative, or efficient planning and design principles.*

As explained in the response to the PDP approval criteria above, Staff believes that the plan meets this criterion.

4. *For plans in PUD zones, any exceptions from standard code requirements or limitations are warranted by virtue of design or special amenities incorporated in the development proposal and are clearly identified on the Official Development Plan.*

All PUD exceptions have been explained in the response to the PDP approval criteria above and are noted in the ODP.

5. *The plan is compatible and harmonious with existing public and private development in the surrounding area.*

As explained in the response to the PDP approval criteria above, Staff believes that the plan meets this criterion.

6. *The plan provides for the protection of the development from potentially adverse surrounding influences and for the protection of the surrounding areas from potentially adverse influence from within the development.*

As explained in the response to the PDP approval criteria above, Staff believes that the plan meets this criterion.

7. *The plan has no significant adverse impacts on future land uses and future development of the immediate area.*

As explained in the response to the PDP approval criteria above, Staff believes that the plan meets this criterion.

8. *The plan provides for the safe, convenient, and harmonious grouping of structures, uses, and facilities and for the appropriate relation of space to intended use and structural features.*

As explained in the response to the PDP approval criteria above, Staff believes that the plan meets this criterion.

9. *Building height, bulk, setbacks, lot size, and lot coverages are in accordance with sound design principles and practice.*

The existing building setbacks and height conform with those of surrounding buildings.

10. *The architectural design of all structures is internally and externally compatible, in terms of shape, color, texture, forms, and materials.*

The existing brick will be restored and will continue to serve as the primary façade material. The addition of metal panels and new windows will update the architecture of the building to have more of a modern expression. The addition of ground level patios and upper floor balconies will enhance visual interest.

11. *Fences, walls, and vegetative screening are provided where needed and as appropriate to screen undesirable views, lighting, noise, or other environmental effects attributable to the development.*

As mentioned, parking will be screened from Irving Street with new vegetation. An existing fence and row of dense vegetation along the north side of the property will screen parking from the school recreation fields. New vegetation planted along the southern and western property lines will screen parking from adjacent development.

12. *Landscaping is in conformance with City Code requirements and City policies and is adequate and appropriate.*

Minimum overall site area landscape has been reduced to 27 percent from the typical 40 percent requirement. A maximum amount of impervious surface has been removed while still allowing for adequate off-street parking and emergency vehicle access. New landscaped area will be densely planted with low water plantings. No high hydrozone planting areas are proposed.

13. *Existing and proposed streets are suitable and adequate to carry the traffic within the development and its surrounding vicinity.*

A traffic study is required along with the ODP. Staff has identified no issues with existing street capacity in relation to vehicular traffic.

14. *Streets, parking areas, driveways, access points, and turning movements are designed in a manner that promotes safe, convenient, and free traffic flow on streets without interruptions, and in a manner that creates minimum hazards for vehicles and pedestrian traffic.*

As explained in the response to the PDP approval criteria above, Staff believes that the plan meets this criterion.

15. *Pedestrian movement is designed in a manner that forms a logical, safe, and convenient system between all structures and off-site destinations likely to attract substantial pedestrian traffic.*

Direct access will be provided from all residential and live/work units to the Irving Street sidewalk and neighborhood bicycle infrastructure which connects to nearby commercial businesses, bus stops and Westminster Station.

16. *Existing and proposed utility systems and storm drainage facilities are adequate to serve the development and are in conformance with the Preliminary Development Plans and utility master plans.*

Given the small size of the project site, and the fact that it is an adaptive reuse project, no onsite detention was required. The installation of new curb and gutter along with new underground stormwater infrastructure will help alleviate existing flooding issues and ensure that stormwater is handled in a safe manner. Staff has reviewed and approved the drainage and utility study that is required along with the ODP.

17. *The applicant is not in default or does not have any outstanding obligations to the City.*

The applicant complies with this criterion.

(B) Failure to meet any of the above-listed standards may be grounds for denial of an Official Development Plan or an amendment to an Official Development Plan.

Neighborhood Meeting(s) and Public Comments

A virtual neighborhood meeting was held on October 7, 2020. The only question raised by meeting participants was related to whether these would be market rate or affordable units. The applicant team responded that they would be market rate and that they are receiving no government assistance to provide affordable or low-income housing.

Following the neighborhood meeting, representatives of the Colorado STEM Academy located to the north requested that a eight-foot tall masonry wall be constructed along their shared property line. This type of fencing is not required by City Code and is heavily discouraged by the TMUND Design Guidelines. In staff's opinion, the existing fencing and vegetation provides better screening than replacement of the plantings along this property line and will preserve a number of mature trees. With the adaptive reuse of the site, related concerns dealing with vagrant activity will be addressed given that the building will no longer be vacant.

Summary of Staff Recommendation

Staff recommends that the Planning Commission recommend approval of the applicant's request to rezone along with the PDP and ODP for the Midland Lofts PUD. This recommendation is based on Staff's analysis that the applicant's development proposal satisfies all criteria listed in 11-5-14 and 11-5-15 of the Westminster Municipal Code.

STRATEGIC PLAN PRIORITIES:

The City's Strategic Plan priority of Shared Sense of Community is met through the proposed development's provision of 18 new units of housing, including 10 live/work units, that will be fully integrated into the surrounding community. The City's Strategic Plan priority of Robust Infrastructure is supported by the proposed development's incorporation of thoughtfully designed infrastructure that is well-connected with existing surrounding systems.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "John McConnell". The signature is fluid and cursive, with the first name "John" being more prominent than the last name "McConnell".

John McConnell, AICP
Interim Planning Manager

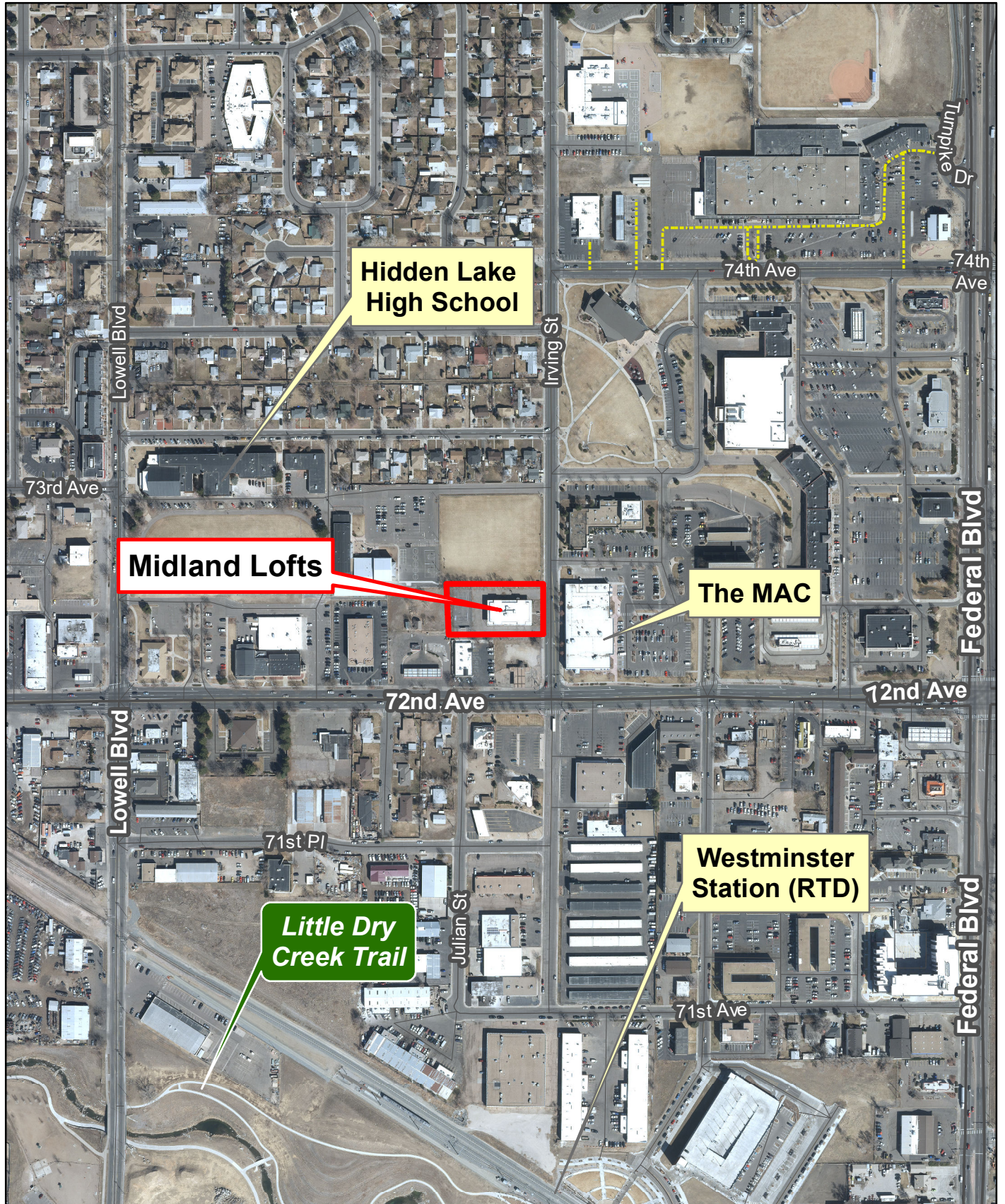
ATTACHMENTS:

Attachment 1: Vicinity Map

Attachment 2: PDP Plan Set

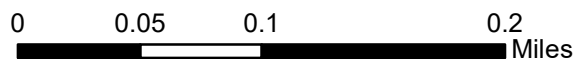
Attachment 3: ODP Plan Set

ATTACHMENT 1



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VICINITY MAP



ATTACHMENT 2

LEGAL DESCRIPTION

THAT PART OF THE EAST 1/2 SOUTHEAST 1/4 SOUTHWEST 1/4 SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID EAST 1/2 SOUTHEAST 1/4 SOUTHWEST 1/4 SOUTHWEST 1/4 OF SAID SECTION 32; THENCE NORTH ALONG THE EAST LINE OF SAID EAST 1/2 SOUTHEAST 1/4 SOUTHWEST 1/4 SOUTHWEST 1/4, A DISTANCE OF 180 FEET; THENCE WEST AND PARALLEL TO THE SOUTH LINE OF SAID EAST 1/2 SOUTHEAST 1/4 SOUTHWEST 1/4 SOUTHWEST 1/4, A DISTANCE OF 20 FEET TO POINT OF BEGINNING; THENCE CONTINUING NORTH AND PARALLEL TO THE EAST LINE OF SAID EAST 1/2 SOUTHEAST 1/4 SOUTHWEST 1/4 SOUTHWEST 1/4, A DISTANCE OF 167.99 FEET TO A POINT; THENCE EAST AND PARALLEL TO THE SOUTH LINE OF SAID EAST 1/2 SOUTHEAST 1/4 SOUTHWEST 1/4 SOUTHWEST 1/4; A DISTANCE OF 277.36 FEET TO A POINT; THENCE SOUTH AND PARALLEL TO THE EAST LINE OF SAID EAST 1/2 SOUTHEAST 1/4 SOUTHWEST 1/4 SOUTHWEST 1/4, A DISTANCE OF 168.25 FEET TO POINT OF BEGINNING, COUNTY OF ADAMS, STATE OF COLORADO,

EXCEPT THAT PORTION AS CONVEYED TO THE CITY OF WESTMINSTER IN INSTRUMENT RECORDED NOVEMBER 7, 1995 IN BOOK 4624 AT PAGE 759.

CONTAINS 46,173 SQ. FT. OR 1.060 ACRES, MORE OR LESS.

SITE ADDRESS: 7255 IRVING STREET WESTMINSTER, CO

SURVEYOR'S CERTIFICATE

I, _____, A LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION HAS BEEN PREPARED OR REVIEWED BY ME TO BE AN ACCURATE DESCRIPTION OF THE PROPERTY BOUNDARY.

DATE REGISTERED LAND SURVEYOR & NO.

PROPERTY OWNER:

NAME: ARKADIA EH, LLC
CONTACT: JOHN ANDRIANAKOS
PHONE: (303) 478-6181
EMAIL: JANDRIANAKOS@GMAIL.COM

DESIGNER:

COMPANY: PRAXIS DESIGN LLC
937 JERSEY STREET
DENVER, CO 80220
CONTACT: NICHOLAS ANTONOPOULOS
PHONE: (720) 621-1209
EMAIL: DESIGPRAX@YAHOO.COM

ENGINEER:

COMPANY: METRO DESIGN GROUP, INC.
P.O. BOX 1255
LITTLETON, CO 80160
CONTACT: DENNIS FINN
PHONE: (720) 539-9464
EMAIL: DFINN.METRODGG@GMAIL.COM

DEVELOPMENT TIMING & PHASING

IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S ODP OR LATEST ODP AMENDMENT IS MORE THAN THREE (3) YEARS OLD AND NO BUILDING PERMIT HAS BEEN ISSUED, THE ODP OR AMENDED ODP SHALL BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN ACCORDANCE WITH CITY CODE.

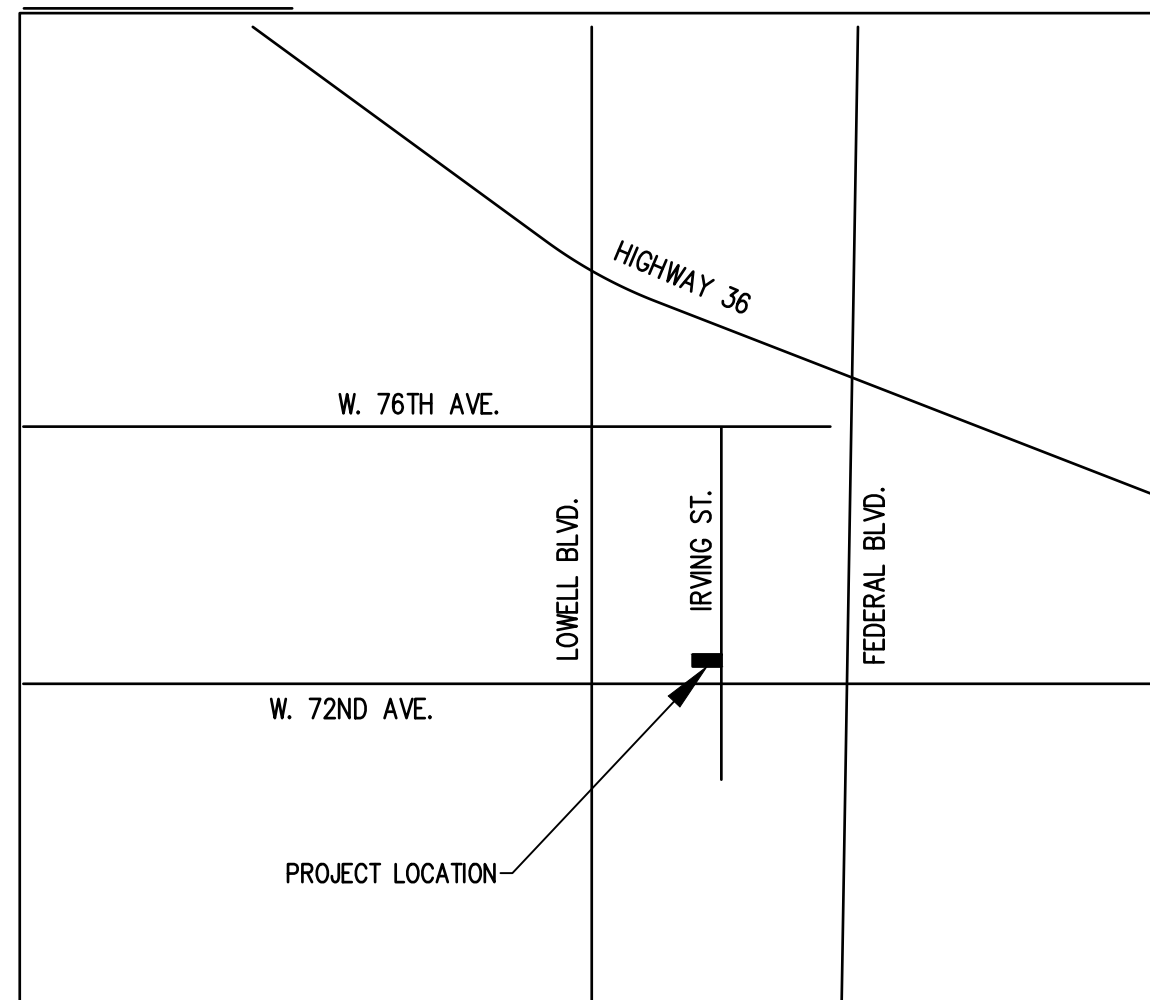
THE PROPOSED DEVELOPMENT TIMING AND PHASING FOR THIS PROJECT IS AS FOLLOWS:
COMPLETE CONSTRUCTION - SEPTEMBER 2024

PRELIMINARY DEVELOPMENT PLAN

MIDLAND LOFTS

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 3

VICINITY MAP



SCALE: 1" = 2000'

PERMITTED USES:

PRIMARY:
MULTI-FAMILY*; TOWNHOMES*; SINGLE-FAMILY ATTACHED*; PROFESSIONAL OFFICES; PERSONAL SERVICES; RETAIL COMMERCIAL; LIVE/WORK UNITS*; EATING ESTABLISHMENTS
*RESIDENTIAL USES MAY ONLY BE PERMITTED UPON PRIOR OR CONCURRENT PERMITTING OF 0.10 FAR OF PROFESSIONAL OFFICES; PERSONAL SERVICES; RETAIL COMMERCIAL; EATING ESTABLISHMENTS OR COMMERCIALY-DESIGNATED PORTION OF LIVE/WORK UNITS.

SECONDARY:

HOTELS, SENIOR HOUSING**, MEDICAL FACILITIES, CHILD CARE FACILITIES, MICROBREWERIES, LIVE ENTERTAINMENT
**RESIDENTIAL USES MAY ONLY BE PERMITTED UPON PRIOR OR CONCURRENT PERMITTING OF 0.10 FAR OF PROFESSIONAL OFFICES; PERSONAL SERVICES; RETAIL COMMERCIAL; EATING ESTABLISHMENTS OR COMMERCIALY-DESIGNATED PORTION OF LIVE/WORK UNITS.

PROHIBITED USES:

ANY USES NOT SPECIFICALLY LISTED AS PERMITTED SHALL BE DEEMED PROHIBITED. THE PLANNING MANAGER SHALL DETERMINE IF AN UNLISTED USE OR SET OF USES FALLS INTO THE DEFINITION OF A LISTED PERMITTED USE.

ZONING & LAND USE:

	ZONING	LAND USE	COMP. PLAN DESIGNATION
SUBJECT SITE:	PUD	VACANT BUILDING	COMMERCIAL MIXED USE
NORTH:	B-1	SCHOOL SPORTS FIELD	PUBLIC / QUASI PUBLIC
SOUTH:	B-1	VACANT GAS STATION	COMMERCIAL MIXED USE
EAST:	B-1 / C-1	COMMUNITY RECREATION CENTER	PUBLIC / QUASI PUBLIC
WEST:	B-1	VACANT LOT	COMMERCIAL MIXED USE

LOTS AND COVERAGE:

TOTAL SITE AREA:	46,173 Sq.Ft. (1.06 Ac.)
NUMBER OF LOTS:	1
BUILDING COVERAGE (SF & %):	9,330 SQ.FT. (20%)
PARKING AND DRIVES (SF & %):	24,431 SQ. FT. (53%)
LANDSCAPE AREA (SF & %):	12,412 SQ. FT. (27%)
MINIMUM LOT SIZE:	N/A

SCOPE OF WORK:

REMODEL OF THE EXISTING 2 STORY COMMERCIAL BUILDING TO CREATE A MIXED-USE BUILDING CONSISTING OF 18 DWELLING UNITS; 8 LIVE- WORK SPACES ON THE MAIN LEVEL, AND 10 RESIDENTIAL SPACES ON THE SECOND LEVEL. THE FOOTPRINT OF THE BUILDING WILL BE EXPANDED TO THE EXTENT OF PROVIDING AN ADDITION ON THE FRONT AND BACK TO CREATE NEW ENTRY VESTIBULES, AND A SMALL INFILL ADDITION ON EACH SIDE OF THE MAIN LEVEL TO PROVIDE USABLE INTERIOR SPACE.

PROJECT/SITE DATA:

ODP BOUNDARY AREA (SF/ACRES):	46,173 Sq.Ft. (1.06 Ac.)
GFA (SF):	17,820 SQ.FT.
FFA (SF):	8,910 SQ.FT.
FAR/DU PER ACRE (#):	FAR = 0.38 / DU PER ACRE = 18
MAXIMUM BUILDING HEIGHT(S) (FT):	30 FEET (EXISTING)

18 UNITS TOTAL:

- (4) 2-BED LIVE/WORK UNITS
- (4) 1-BED LIVE WORK UNITS
- (10) 1-BED STANDARD UNITS

MINIMUM REQUIRED SETBACKS:

	BUILDING	PARKING	LANDSCAPING
FRONT:	30'-0"	15'-0"	15'-0"
SIDE:	0	5'-0"	5'-0"
REAR:	20'-0"	5'-0"	5'-0"

OWNER APPROVAL

I, JOHN ANDRIANAKOS, PROPERTY OWNER, DO SO APPROVE THIS PRELIMINARY DEVELOPMENT PLAN FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20____.

SIGNATURE _____

SIGNATURE _____ TITLE _____

CITY APPROVAL

ACCEPTED AND APPROVED BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20____.

CITY MANAGER _____

ATTEST: CITY CLERK _____

CLERK AND RECORDER'S CERTIFICATE

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS _____ DAY OF _____, 20____, AT _____ O'CLOCK ____M.

ADAMS COUNTY CLERK AND RECORDER _____

BY: DEPUTY CLERK _____



P.O. BOX 1255, LITTLETON, COLORADO 80160-1255
720-539-9464



937 JERSEY STREET
DENVER, COLORADO
303-974-5951

PRELIMINARY DEVELOPMENT PLAN

MIDLAND LOFTS

7255 IRVING STREET
WESTMINSTER, COLORADO

NO.	REVISIONS	DATE
	PRELIMINARY SET	7/25/2022
	PDP_02SUBMITTAL	8/15/2022
	PDP_03SUBMITTAL	5/12/2023
	PDP_04SUBMITTAL	5/19/2023
	PDP_05SUBMITTAL	6/18/2023
	PDP_06SUBMITTAL	8/14/2023

PROJECT NO.	19011
DESIGNED BY:	DCF
DRAWN BY:	DCF

COVER SHEET

CASE #: PLN20-0062

1 OF 3

SHEET INDEX
SHEET 1 - COVER
SHEET 2 - PROJECT NOTES
SHEET 3 - SITE PLAN

PROJECT NOTES

PARK DEVELOPMENT FEE:

THE CITY CODE (§11-6-8(C)) REQUIRES A PARK DEVELOPMENT FEE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST UNIT IN ANY BUILDING. A FEE OF \$ 1,583 / UNIT (2023) PER DWELLING UNIT IS DUE TO THE CITY. FOR 18 DWELLINGS THE TOTAL FEE IS \$ 28,494. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE PARK FEE IS ADJUSTED ANNUALLY IN ACCORDANCE WITH THE CONSUMER PRICE INDEX (CPI) AS ESTABLISHED FOR THE DENVER METROPOLITAN AREA.

PUBLIC LAND DEDICATION:

PUBLIC LAND DEDICATION IS REQUIRED FOR RESIDENTIAL DEVELOPMENTS IN THE CITY. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE FEE IS BASED ON THE FAIR MARKET VALUE OF THE LAND WHICH MIGHT HAVE BEEN DEDICATED TO THE CITY. PUBLIC LAND DEDICATION IS PROPOSED TO BE PAID CASH-IN-LIEU. THE CITY CODE (11-6-8(B)) REQUIRES 12 ACRES PER 1,000 RESIDENTS.

PROJECTED POPULATION FOR THIS DEVELOPMENT IS 2 PERSONS PER UNIT. FOR 18 UNITS THE POPULATION IS 36 PERSONS. FOR 36 PERSONS THE PUBLIC LAND DEDICATION REQUIRED IS 0.432 ACRES. BASED ON A LAND PURCHASE PRICE (OR FAIR MARKET VALUE AS DETERMINED BY A CURRENT APPRAISAL) OF \$ 726,415 PER ACRE MULTIPLIED BY 0.432 ACRES, THE CASH-IN-LIEU TOTALS \$ 313,811. THE CASH-IN-LIEU PAYMENT IS DUE PRIOR TO THE RECORDATION OF THE FINAL PLAT OR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED.

SCHOOL LAND DEDICATION:

THE CITY CODE (§11-6-8(F)) REQUIRES A DEDICATION OF SCHOOL LAND OR CASH IN LIEU OF LAND. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE CASH-IN-LIEU FEE IS A FIXED AMOUNT BASED ON THE TYPE OF UNIT AND IS DUE AT THE TIME OF FINAL PLAT OR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED. FOR MULTI-FAMILY A FEE OF \$ 112 (2022) PER DWELLING UNIT IS DUE TO THE CITY. FOR 18 DWELLINGS THE TOTAL FEE IS \$ 2,016. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE SCHOOL FEE IS ADJUSTED ANNUALLY TO KEEP PACE WITH THE REAL ESTATE MARKET AND LAND VALUES

PUBLIC ART:

CASH-IN-LIEU FOR BOTH THE ART PIECE AND AN IMPROVED SITE SHALL BE PAYABLE BY THE PROPERTY OWNER TO THE CITY IN THE AMOUNT OF \$2,000 PER GROSS ACRE OF THE SUBJECT PROPERTY AT THE TIME OF FINAL PLAT. IF NO PLAT IS NEEDED THEN CASH-IN-LIEU SHALL BE PROVIDED AT THE TIME OF OFFICIAL DEVELOPMENT PLAN RECORDING. FOR 1.06 ACRES A FEE OF \$ 2,120 IS DUE TO THE CITY.

RECOVERY COSTS:

ANY SUBSEQUENTLY OCCURRING RECOVERY COSTS SHALL ALSO BE EFFECTIVE AGAINST THE DEVELOPMENT. A RECOVERY COST IS STILL VALID AGAINST A DEVELOPMENT EVEN IF IT IS UNDISCOVERED AND/OR INADVERTENTLY OMITTED FROM THE PRELIMINARY OR OFFICIAL DEVELOPMENT PLAN.

SERVICE COMMITMENTS:

MAXIMUM DENSITY OR F.A.R. OF A COMPREHENSIVE PLAN DESIGNATION, PRELIMINARY DEVELOPMENT PLAN USE, OR PREVIOUS ODP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY OR F.A.R. MUST BE DETERMINED BY REVIEWING COMPLETE PROJECT DATA WHEN SUBMITTED WITH EACH ODP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (§11-3-4(C)). SERVICE COMMITMENTS PREVIOUSLY AND EXPLICITLY PROVIDED IN DOCUMENTATION BUT NOT CONSTRUCTED NOR CONNECTED WITHIN A REASONABLE PERIOD REMAIN SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

PRELIMINARY DEVELOPMENT PLAN

MIDLAND LOFTS

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 2 OF 3

PUD EXECEPTIONS

- DESIGN GUIDELINES FOR TRADITIONAL MIXED-USE NEIGHBORHOOD DEVELOPMENTS, 2.5.1 GENERAL SITE PLANNING

REQUIREMENTS NOT MET: PARKING SHOULD BE LOCATED INTERNAL TO THE BLOCK, MINIMIZING IMPACTS ON THE STREETScape.

JUSTIFICATION: THIS IS AN ADAPTIVE RE-USE PROJECT AND THE EXISTING BUILDING IS SETBACK 30 FEET FROM THE PROPERTY LINE ALONG IRVING STREET. IN ORDER TO PROVIDE ADEQUATE PARKING, SOME PARKING WILL BE PROVIDED ALONG THE NORTHERN AND SOUTHERN PROPERTY LINES BUT WILL BE SET BACK A MINIMUM OF 15 FEET FROM THE PROPERTY LINE ALONG IRVING STREET AND WILL BE BUFFERED FROM VIEW OF THE SIDEWALK WITH PLANTINGS. PARKING WILL NOT BE LOCATED BETWEEN THE BUILDING FACADE AND THE STREET.

STANDARD STATEMENTS

- THE PROJECT OWNER/DEVELOPER AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION DRAWINGS AND DOCUMENTS COMPLY WITH ALL REQUIREMENTS OF THE ODP. THE PROJECT OWNER/DEVELOPER SHALL BE HELD RESPONSIBLE FOR ANY CONSTRUCTION AND GRADING COMPLETED THAT DOES NOT COMPLY WITH THE APPROVED ODP AND SHALL BE REQUIRED TO MAKE ALL MODIFICATIONS NECESSARY TO BRING THE PROJECT IN COMPLIANCE WITH THE ODP.
- THE FINAL PLAT FOR THIS PROJECT MUST BE SUBMITTED FOR CITY APPROVAL WITHIN TWELVE (12) MONTHS OF THE APPROVAL DATE OF THIS OFFICIAL DEVELOPMENT PLAN.
- CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- THE DESIGN OF PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE.
- ALL PUBLIC WATER, STORM SEWER AND SANITARY SEWER MAINS AND APPURTENANCES LOCATED IN PUBLIC ROW OR UTILITY EASEMENTS SHALL BE MAINTAINED BY THE CITY OF WESTMINSTER PUBLIC WORKS DEPARTMENT. THE CITY IS NOT RESPONSIBLE FOR REPAIR OR REPLACEMENT OF PAVEMENT, CURB AND GUTTER, LANDSCAPING OR ANY OTHER PRIVATE IMPROVEMENTS WITHIN UTILITY EASEMENTS DAMAGED DURING UTILITY REPAIR OR MAINTENANCE.
- UTILITY BOXES ARE TO BE INSTALLED IN THE LOCATION(S) SHOWN ON THIS ODP. ANY PROPOSED REVISIONS TO THE LOCATION(S) SHOWN ON THIS ODP SHALL REQUIRE AN ODP AMENDMENT PRIOR TO THE INSTALLATION OF THE BOXES, AND THE CITY'S APPROVAL OF SUCH AN AMENDMENT MAY BE CONDITIONAL UPON THE PROVISION OF ADDITIONAL SCREENING (E.G. MASONRY WALL AND/OR LANDSCAPING).
- THE INSTALLATION AND/OR MAINTENANCE OF ANY AND ALL DRAINAGE IMPROVEMENTS NEEDED TO SERVE THIS SITE, INCLUDING BUT NOT LIMITED TO OFFSITE STORM DRAINAGE DETENTION FACILITIES IS AND REMAINS FOREVER THE RESPONSIBILITY OF THE OWNER, ITS HEIRS, SUCCESSORS, AND ASSIGNS AND WILL NOT BECOME THE PROPERTY OR MAINTENANCE RESPONSIBILITY OF THE CITY OF WESTMINSTER WITH THE EXCEPTION OF DESIGNATED REGIONAL STORMWATER OR WATER QUALITY FACILITIES.
- THE PROPERTY OWNER WILL CONVEY TO THE CITY ALL RIGHTS TO NON-TRIBUTARY WATER UNDERLYING THIS PROJECT, AS WELL AS EASEMENTS FOR ACQUISITION OF SUCH WATER AS PART OF THE FINAL PLAT.
- STORM DRAINAGE SHALL ONLY BE DISCHARGED ONTO OR ACROSS PUBLIC LAND AS DESCRIBED IN THE APPROVED DRAINAGE STUDY.
- ANY NEW FACILITY OR MODIFICATIONS TO AN EXISTING DEVELOPMENT THAT RESULT IN ADDITIONAL WATER USE INCLUDING BUILDING FIXTURES, LANDSCAPE, IRRIGATION OR OTHER WATER USE CATEGORY WILL REQUIRE A REVIEW OF EXISTING AND PROPOSED WATER USE PROJECTIONS. THIS REVIEW MAY RESULT IN AN INCREASE IN TAP FEES.
- CITY WILL INSTALL, AT DEVELOPER'S EXPENSE, ALL TRAFFIC CONTROL DEVICES REQUIRED, INCLUDING STREET NAME SIGNS.
- PUBLIC STREET LIGHTS WILL BE INSTALLED, AS DESIGNED BY XCEL ENERGY, IN ACCORDANCE WITH THE CURRENT DESIGN STANDARDS EMPLOYED BY XCEL ENERGY

GENERAL DESIGN STANDARDS

- DESIGN CRITERIA AND GUIDELINES FOR LIVE/WORK UNITS WILL BE INCLUDED IN THE ODP
- ADDITIONAL DESIGN STANDARDS MAY BE INCLUDED IN THE ODP
- SIGNAGE
 - ALL WALL SIGNS WILL BE COMPOSED OF INDIVIDUAL RAISED LETTERS. A MONUMENT SIGN FOR THIS SUBDIVISION WILL BE LIMITED TO 32 SQUARE FEET AND MUST BE COMPOSED OF METAL LETTERS OR SIMILAR MATERIALS. NO ELECTRONIC MESSAGE BOARDS ARE ALLOWED.

SERVING FACILITIES

PUBLIC RECREATION AREAS	IRVING STREET PARK
PUBLIC OPEN SPACE	LOWELL TRAIL
DRAINAGEWAYS	LITTLE DRY CREEK
MAJOR DETENTION	HIDDEN LAKE
PRIMARY SCHOOL	THOMSON ELEMENTARY SCHOOL
ELEMENTARY SCHOOL	COLORADO STEM ACADEMY
MIDDLE SCHOOL	COLORADO STEM ACADEMY
HIGH SCHOOL	HIDDEN LAKE HIGH SCHOOL
NEARBY SHOPPING AREAS	LA CONTE SHOPPING CENTER
NEARBY FIRE STATIONS	STATION #11
NEARBY BUS STOPS	WEST 72ND AVE AND IRVING ST

AND APPROVED BY THE CITY OF WESTMINSTER, AT THE DEVELOPER'S EXPENSE.

- ALL LIGHTING WILL BE DIRECTED DOWNWARD, FULL CUTOFF AND SHIELDED. THE PHOTOMETRIC PLAN WILL SHOW NO LIGHT TRESPASS TO RESIDENTIAL PROPERTIES, AND MINIMAL OFF SITE FOR OTHER PROPERTY.
- ALL ROOFTOP EQUIPMENT ON THE BUILDING WILL BE SCREENED TO ITS FULL HEIGHT AND DESIGNED AS AN INTEGRAL PART OF THE BUILDING ARCHITECTURE.
- ALL WATER FEATURES MUST BE FUNCTIONAL AND OPERATE ANNUALLY - AT LEAST FROM MAY 1 THROUGH SEPTEMBER 30.
- ALL SIGNAGE PROPOSED / INSTALLED WILL COMPLY WITH THE WESTMINSTER MUNICIPAL CODE SIGNAGE REGULATIONS AND THIS ODP AND MUST BE SEPARATELY REVIEWED AND PERMITTED WITH A VALID SIGN PERMIT. SIGNAGE LOCATIONS SHOWN ON BUILDING ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY WITH THE INTENT OF PROVIDING ACCEPTABLE LOCATIONS WHERE SIGNAGE CAN BE BEST INTEGRATED INTO THE ARCHITECTURE OF THE BUILDING. THESE LOCATIONS ARE INTENDED TO PROVIDE OPTIONS FOR THE BUILDING'S END-USER TO CONSIDER WHEN APPLYING FOR WALL SIGN PERMITS WITH THE UNDERSTANDING THAT THE CITY'S SIGN CODE MAY FURTHER RESTRICT THE MAXIMUM AREA, LOCATION, AND NUMBER OF PROPOSED SIGNS.
- NO TEMPORARY OR PERMANENT ACCESS WILL BE ALLOWED ON, ADJACENT TO, FROM, OR ACROSS PUBLIC OPEN SPACE AND PUBLIC PARKS, EITHER EXISTING OR LAND TO BE DEDICATED, AS PART OF THE DEVELOPMENT PROJECT.
- FENCING SHALL BE INSTALLED ON THE PRIVATE SIDE OF THE PROPERTY LINE ADJACENT TO PUBLIC LANDS, EITHER EXISTING OR LAND TO BE DEDICATED AS PART OF THE DEVELOPMENT PROJECT, PRIOR TO ANY CONSTRUCTION AND GRADING ACTIVITY. TEMPORARY FENCING IS TO BE MAINTAINED AND SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION. PUBLIC LAND SHALL NOT BE DISTURBED.
- DURING THE CONSTRUCTION PROCESS, THE DEVELOPER AND/OR BUILDER WILL PROVIDE EMERGENCY ACCESS ROADWAYS TO WITHIN 150' OF ALL BUILDINGS AND STRUCTURES, PRIOR TO WALL CONSTRUCTION OR BY SUCH TIME THAT COMBUSTIBLES ARE BROUGHT ON SITE. ANY TEMPORARY ACCESS WILL BE CONSTRUCTED USING A MINIMUM OF 8" OF BASE COURSE AND A SUFFICIENT AMOUNT OF "ALL-WEATHER" SURFACE MATERIAL THAT WILL SUPPORT THE LOAD OF FIRE APPARATUS.
- DEVELOPER AND BUILDER SHALL PATROL ON A WEEKLY BASIS THE PUBLIC AND OTHER LANDS ADJACENT TO THE DEVELOPMENT DURING THE CONSTRUCTION PROCESS, AND REMOVE CONSTRUCTION DEBRIS TO KEEP THE ADJACENT LANDS CLEAN AND SAFE.
- ADDITIONAL PROJECT NOTES MAY BE FOUND THROUGHOUT THE ODP, INCLUDING STANDARD NOTES FOR LANDSCAPING AND IRRIGATION.



937 JERSEY STREET
DENVER, COLORADO
303.974.5951

PRELIMINARY DEVELOPMENT PLAN

MIDLAND LOFTS

7255 IRVING STREET
WESTMINSTER, COLORADO

NO.	REVISIONS	DATE
	PRELIMINARY SET	7/25/2022
	PDP_02SUBMITTAL	8/15/2022
	PDP_03SUBMITTAL	5/12/2023
	PDP_04SUBMITTAL	5/19/2023
	PDP_05SUBMITTAL	6/18/2023
	PDP_06SUBMITTAL	8/14/2023

PROJECT NO.	19011
DESIGNED BY:	DCF
DRAWN BY:	DCF

GENERAL NOTES

LEGEND

- W — EXISTING WATER LINE
- SS — EXISTING SANITARY SEWER
- SW — EXISTING STORM SEWER
- G — EXISTING GAS LINE
- T — EXISTING TELEPHONE LINE
- EX OE — EXISTING ELECTRIC LINE
- — PROPERTY LINE
- — LOT LINE
- - - X - - - EXISTING FENCE
- [Hatched] PR. CONCRETE WALK
- [Hatched] PR. ASPHALT
- [G] GAS METER
- [S] SANITARY SEWER MANHOLE
- [*] UTILITY OR POWER POLE
- [FH] FIRE HYDRANT
- [WV] WATER VALVE
- [WM] WATER METER
- [SM] STORM SEWER MANHOLE
- [T] TRANSFORMER

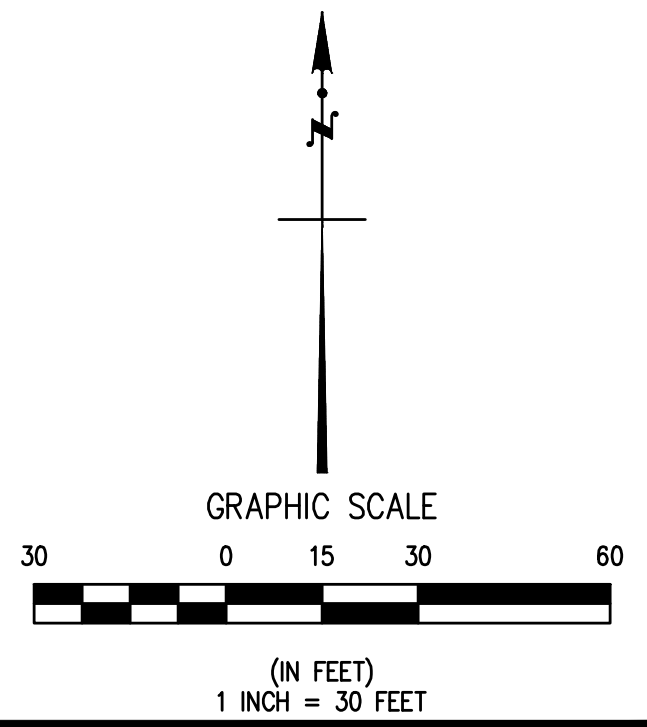
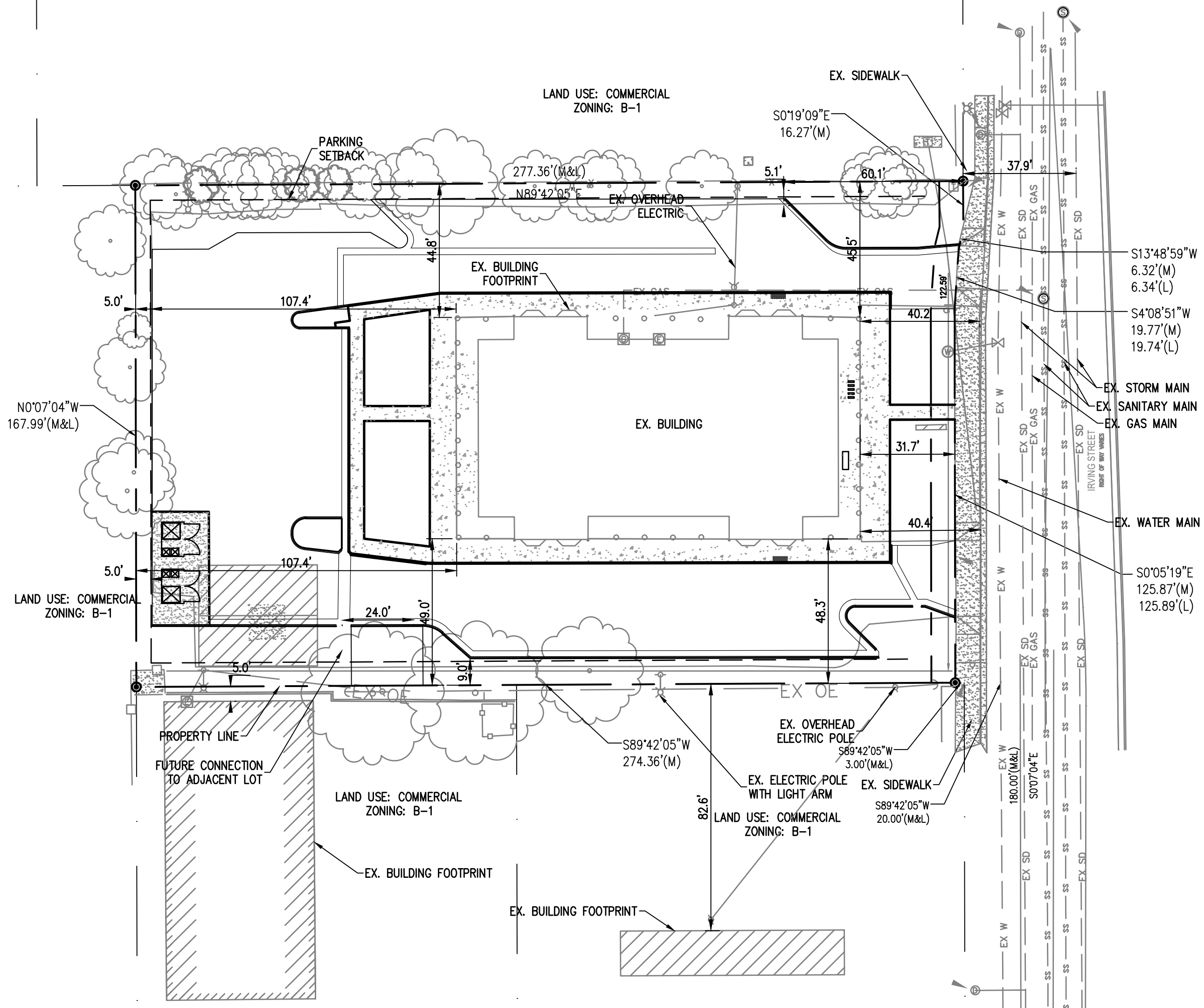
PRELIMINARY DEVELOPMENT PLAN
MIDLAND LOFTS
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 3 OF 3

MINIMUM LANDSCAPE SETBACKS:
 NORTH - 5'-0"
 SOUTH - 8'-0"
 EAST - 15'-0"
 WEST - 5'-0"

MINIMUM PARKING SETBACKS:
 NORTH - 5'-0"
 SOUTH - 8'-0"
 EAST - 15'-0"
 WEST - 5'-0"

PARKING SPACES	REQUIRED	PROVIDED
RESIDENTIAL	20	22
LIVE/WORK*	4	10
ACCESSIBLE	1	4
GUEST	4	4
BICYCLE	5	5

*LIVE/WORK REQUIRED PARKING CALCULATED AT A RATIO OF 0.5 SPACES PER UNIT IN ADDITION TO REQUIRED RESIDENTIAL PARKING



PRELIMINARY DEVELOPMENT PLAN
MIDLAND LOFTS
 7255 IRVING STREET
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	PDP_06SUBMITTAL	8/14/2023

PROJECT NO. 19011
 DESIGNED BY: DCF
 DRAWN BY: DCF

METR DESIGN GROUP
 architecture
 P.O. BOX 1255, LITTLETON,
 COLORADO 80160-1255
 720-539-9464
 937 JERSEY STREET
 DENVER, COLORADO
 303-974-5951

ATTACHMENT 3

LEGAL DESCRIPTION:

THAT PART OF THE EAST 1/2 SOUTHEAST 1/4 SOUTHWEST 1/4 SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID EAST 1/2 SOUTHEAST 1/4 SOUTHWEST 1/4 SOUTHWEST 1/4 OF SAID SECTION 32; THENCE NORTH ALONG THE EAST LINE OF SAID EAST 1/2 SOUTHEAST 1/4 SOUTHWEST 1/4 SOUTHWEST 1/4, A DISTANCE OF 180 FEET; THENCE WEST AND PARALLEL TO THE SOUTH LINE OF SAID EAST 1/2 SOUTHEAST 1/4 SOUTHWEST 1/4 SOUTHWEST 1/4, A DISTANCE OF 20 FEET TO POINT OF BEGINNING; THENCE CONTINUING WEST A DISTANCE OF 277.36 FEET TO A POINT; THENCE CONTINUING NORTH AND PARALLEL TO THE EAST LINE OF SAID EAST 1/2 SOUTHEAST 1/4 SOUTHWEST 1/4 SOUTHWEST 1/4, A DISTANCE OF 167.99 FEET TO A POINT; THENCE EAST AND PARALLEL TO THE SOUTH LINE OF SAID EAST 1/2 SOUTHEAST 1/4 SOUTHWEST 1/4 SOUTHWEST 1/4; A DISTANCE OF 277.36 FEET TO A POINT; THENCE SOUTH AND PARALLEL TO THE EAST LINE OF SAID EAST 1/2 SOUTHEAST 1/4 SOUTHWEST 1/4 SOUTHWEST 1/4, A DISTANCE OF 168.25 FEET TO POINT OF BEGINNING, COUNTY OF ADAMS, STATE OF COLORADO,

EXCEPT THAT PORTION AS CONVEYED TO THE CITY OF WESTMINSTER IN INSTRUMENT RECORDED NOVEMBER 7, 1995 IN BOOK 4624 AT PAGE 759.

CONTAINS 46,173 SQ. FT. OR 1.060 ACRES, MORE OR LESS.

SITE ADDRESS: 7255 IRVING STREET
WESTMINSTER, CO

SURVEYOR'S CERTIFICATE:

I, _____, A LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION HAS BEEN PREPARED OR REVIEWED BY ME TO BE AN ACCURATE DESCRIPTION OF THE PROPERTY BOUNDARY.

DATE _____ REGISTERED LAND SURVEYOR & NO. _____

PROPERTY OWNER:

NAME: ARKADIA EH, LLC
CONTACT: JOHN ANDRIANAKOS
PHONE: (303) 478-6181
EMAIL: JANDRIANAKOS@GMAIL.COM

DESIGNER:

COMPANY: PRAXIS DESIGN LLC
937 JERSEY STREET
DENVER, CO 80220
CONTACT: NICHOLAS ANTONOPOULOS
PHONE: (720) 621-1209
EMAIL: DESIGPRAX@YAHOO.COM

ENGINEER:

COMPANY: METRO DESIGN GROUP, INC.
P.O. BOX 1255
LITTLETON, CO 80160
CONTACT: DENNIS FINN
PHONE: (720) 539-9464
EMAIL: DFINN.METRODGC@GMAIL.COM

DEVELOPMENT TIMING & PHASING

IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S ODP OR LATEST ODP AMENDMENT IS MORE THAN THREE (3) YEARS OLD AND NO BUILDING PERMIT HAS BEEN ISSUED, THE ODP OR AMENDED ODP SHALL BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN ACCORDANCE WITH CITY CODE.

THE PROPOSED DEVELOPMENT TIMING AND PHASING FOR THIS PROJECT IS AS FOLLOWS:
COMPLETE CONSTRUCTION - SEPTEMBER 2024

PERMITTED USES:

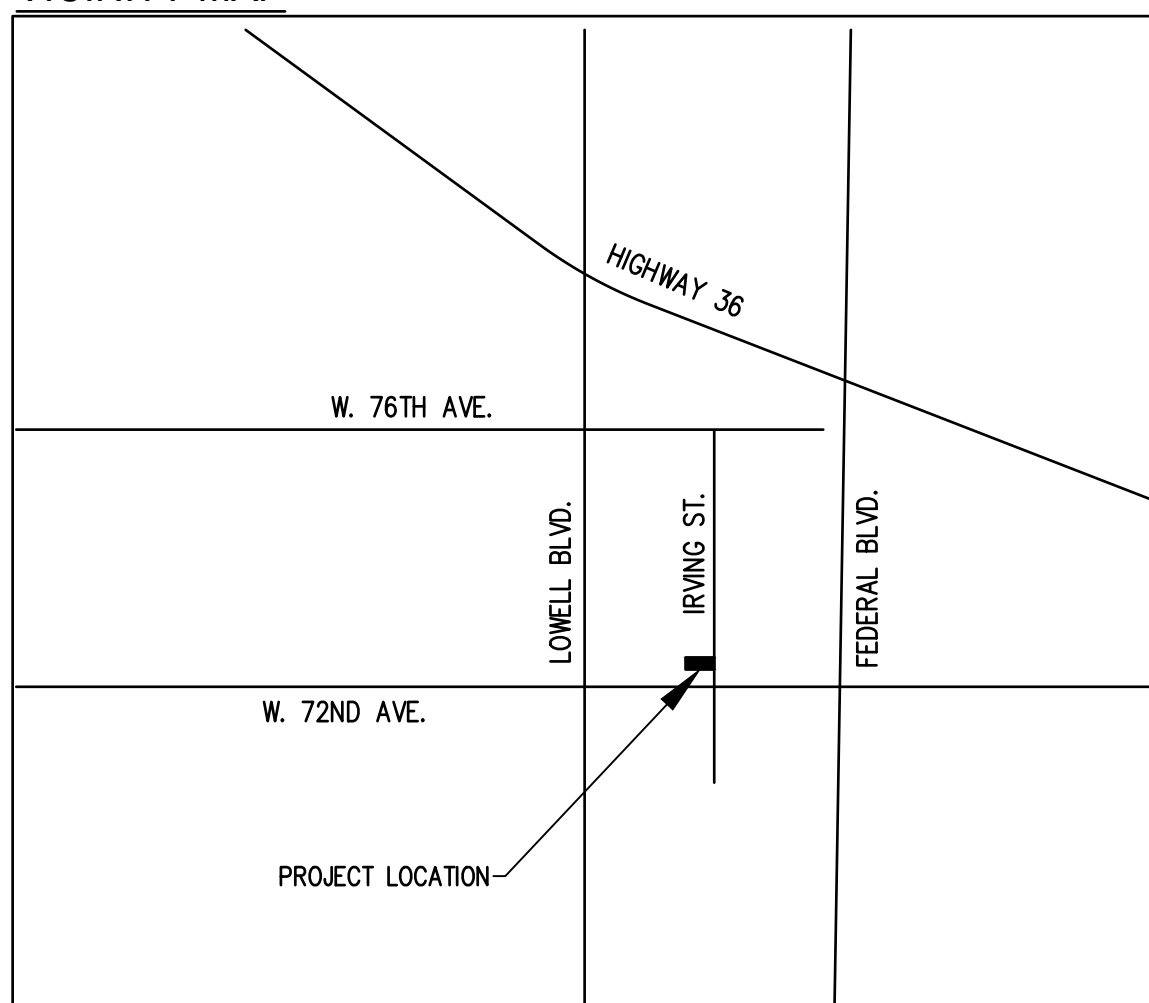
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OFFICIAL DEVELOPMENT PLAN
MIDLAND LOFTS
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 15

VICINITY MAP



SCALE: 1" = 2000'

ZONING & LAND USE:

	ZONING	LAND USE	COMP. PLAN DESIGNATION
SUBJECT SITE:	PUD	VACANT BUILDING	COMMERCIAL MIXED USE
NORTH:	B-1	SCHOOL SPORTS FIELD	PUBLIC / QUASI PUBLIC
SOUTH:	B-1	VACANT GAS STATION	COMMERCIAL MIXED USE
EAST:	B-1 / C-1	COMMUNITY RECREATION CENTER	PUBLIC / QUASI PUBLIC
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LANDSCAPE AREA (SF & %):	12,412 SQ. FT. (27%)
MINIMUM LOT SIZE:	N/A

SCOPE OF WORK:

REMODEL OF THE EXISTING 2 STORY COMMERCIAL BUILDING TO CREATE A MIXED-USE BUILDING CONSISTING OF 18 DWELLING UNITS; 8 LIVE- WORK SPACES ON THE MAIN LEVEL, AND 10 RESIDENTIAL SPACES ON THE SECOND LEVEL. THE FOOTPRINT OF THE BUILDING WILL BE EXPANDED TO THE EXTENT OF PROVIDING AN ADDITION ON THE FRONT AND BACK TO CREATE NEW ENTRY VESTIBULES, AND A SMALL INFILL ADDITION ON EACH SIDE OF THE MAIN LEVEL TO PROVIDE USABLE INTERIOR SPACE.

PROJECT/SITE DATA:

ODP BOUNDARY AREA (SF/ACRES):	46,173 Sq.Ft. (1.06 Ac.)
GFA (SF):	17,820 SQ.FT.
FFA (SF):	8,910 SQ.FT.
FAR/DU PER ACRE (#):	FAR = 0.38 / DU PER ACRE = 18
MAXIMUM BUILDING HEIGHT(S) (FT):	30 FEET (EXISTING)

18 UNITS TOTAL:

- (4) 2-BED LIVE/WORK UNITS
- (4) 1-BED LIVE WORK UNITS
- (10) 1-BED STANDARD UNITS

MINIMUM REQUIRED SETBACKS:

	BUILDING	PARKING	LANDSCAPING
FRONT:	30'-0"	15'-0"	15'-0"
SIDE:	0	5'-0"	5'-0"
REAR:	20'-0"	5'-0"	5'-0"

OWNER APPROVAL:

I, JOHN ANDRIANAKOS PROPERTY OWNER, DO SO APPROVE THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20____.

SIGNATURE _____

CITY APPROVAL:

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WESTMINSTER.

THIS _____ DAY OF _____, 20____.

CHAIRMAN _____

CITY CLERK _____

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20____.

MAYOR _____

ATTEST: CITY CLERK _____

CLERK AND RECORDER'S CERTIFICATE:

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS _____ DAY OF _____, 20____, AT ____: ____ O'CLOCK ____M.

ADAMS COUNTY CLERK AND RECORDER _____

BY: DEPUTY CLERK _____

SHEET INDEX

SHEET NUMBER	SHEET TITLE
1 OF 15	COVER SHEET
2 OF 15	GENERAL NOTES
3 OF 15	SITE PLAN
4 OF 15	UTILITY PLAN
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6 OF 15	LANDSCAPE PLAN
7 OF 15	LANDSCAPE DETAILS
8 OF 15	LANDSCAPE DETAILS
9 OF 15	ELEVATIONS N&W
10 OF 15	ELEVATIONS S&E
11 OF 15	FLOOR PLAN
12 OF 15	FLOOR PLAN
13 OF 15	ARCHITECTURAL DETAILS
14 OF 15	SITE PHOTOMETRIC PLAN
15 OF 15	SITE LIGHT FIXTURES

CASE #: PLN20-0085

OFFICIAL DEVELOPMENT PLAN
MIDLAND LOFTS
7255 IRVING STREET
WESTMINSTER, COLORADO

NO.	REVISIONS	DATE
	ODP SUBMITTAL	8/15/2022
	ODP REVISIONS	4/10/2023
	ODP REVISIONS	5/19/2023
	FIRETRUCK EXHIBIT REVISED	6/21/2023
	ODP REVISIONS	7/28/2023
	ODP REVISIONS	8/14/2023

PROJECT NO. 19011
DESIGNED BY: DCF
DRAWN BY: DCF

COVER SHEET

1 OF 16



OFFICIAL DEVELOPMENT PLAN
MIDLAND LOFTS
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 2 OF 15

PROJECT NOTES

PARK DEVELOPMENT FEE:

THE CITY CODE (§11-6-8(C)) REQUIRES A PARK DEVELOPMENT FEE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST UNIT IN ANY BUILDING. A FEE OF \$ 1,583 / UNIT (2023) PER DWELLING UNIT IS DUE TO THE CITY. FOR 18 DWELLINGS THE TOTAL FEE IS \$ 28,494. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE PARK FEE IS ADJUSTED ANNUALLY IN ACCORDANCE WITH THE CONSUMER PRICE INDEX (CPI) AS ESTABLISHED FOR THE DENVER METROPOLITAN AREA.

PUBLIC LAND DEDICATION:

PUBLIC LAND DEDICATION IS REQUIRED FOR RESIDENTIAL DEVELOPMENTS IN THE CITY. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE FEE IS BASED ON THE FAIR MARKET VALUE OF THE LAND WHICH MIGHT HAVE BEEN DEDICATED TO THE CITY. PUBLIC LAND DEDICATION IS PROPOSED TO BE PAID CASH-IN-LIEU. THE CITY CODE (11-6-8(B)) REQUIRES 12 ACRES PER 1,000 RESIDENTS.

PROJECTED POPULATION FOR THIS DEVELOPMENT IS 2 PERSONS PER UNIT. FOR 18 UNITS THE POPULATION IS 36 PERSONS. FOR 36 PERSONS THE PUBLIC LAND DEDICATION REQUIRED IS 0.432 ACRES. BASED ON A LAND PURCHASE PRICE (OR FAIR MARKET VALUE AS DETERMINED BY A CURRENT APPRAISAL) OF \$ 726,415 PER ACRE MULTIPLIED BY 0.432 ACRES, THE CASH-IN-LIEU TOTALS \$ 313,811. THE CASH-IN-LIEU PAYMENT IS DUE PRIOR TO THE RECORDATION OF THE FINAL PLAT OR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED.

SCHOOL LAND DEDICATION:

THE CITY CODE (§11-6-8(F)) REQUIRES A DEDICATION OF SCHOOL LAND OR CASH IN LIEU OF LAND. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE CASH-IN-LIEU FEE IS A FIXED AMOUNT BASED ON THE TYPE OF UNIT AND IS DUE AT THE TIME OF FINAL PLAT OR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED. FOR MULTI-FAMILY A FEE OF \$ 112 (2022) PER DWELLING UNIT IS DUE TO THE CITY. FOR 18 DWELLINGS THE TOTAL FEE IS \$ 2,016. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE SCHOOL FEE IS ADJUSTED ANNUALLY TO KEEP PACE WITH THE REAL ESTATE MARKET AND LAND VALUES

PUBLIC ART:

CASH-IN-LIEU FOR BOTH THE ART PIECE AND AN IMPROVED SITE SHALL BE PAYABLE BY THE PROPERTY OWNER TO THE CITY IN THE AMOUNT OF \$2,000 PER GROSS ACRE OF THE SUBJECT PROPERTY AT THE TIME OF FINAL PLAT. IF NO PLAT IS NEEDED THEN CASH-IN-LIEU SHALL BE PROVIDED AT THE TIME OF OFFICIAL DEVELOPMENT PLAN RECORDING. FOR 1.06 ACRES A FEE OF \$ 2,120 IS DUE TO THE CITY.

RECOVERY COSTS:

ANY SUBSEQUENTLY OCCURRING RECOVERY COSTS SHALL BE EFFECTIVE AGAINST THE DEVELOPMENT. A RECOVERY COST IS STILL VALID AGAINST A DEVELOPMENT EVEN IF IT IS UNDISCOVERED AND/OR INADVERTENTLY OMITTED FROM THE PRELIMINARY OR OFFICIAL DEVELOPMENT PLAN.

SERVICE COMMITMENTS:

MAXIMUM DENSITY OR F.A.R. OF A COMPREHENSIVE PLAN DESIGNATION, PRELIMINARY DEVELOPMENT PLAN USE, OR PREVIOUS ODP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY OR F.A.R. MUST BE DETERMINED BY REVIEWING COMPLETE PROJECT DATA WHEN SUBMITTED WITH EACH ODP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (§11-3-4(C)). SERVICE COMMITMENTS PREVIOUSLY AND EXPLICITLY PROVIDED IN DOCUMENTATION BUT NOT CONSTRUCTED NOR CONNECTED WITHIN A REASONABLE PERIOD REMAIN SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

LIVE/WORK STANDARDS:

- LIVE-WORK UNITS ARE DESIGNATED ON SHEET X
- THE DESIGNATED WORK SPACE OF A LIVE-WORK UNIT MAY NOT COMPOSE LESS THAN 20%, OR MORE THAN 50% OF THE FLOOR AREA OF THE LIVE-WORK UNIT.
- THE ENTIRE SQUARE FOOTAGE OF THE LIVE/WORK UNIT MAY APPLY TO THE MINIMUM OF 0.10 FAR REQUIREMENT FOR THIS COMPREHENSIVE PLAN DESIGNATION OF MIXED USE WHEN RESIDENTIAL USE IS PROVIDED.
- THE DESIGNATED WORK SPACE OF A LIVE-WORK UNIT MAY HAVE RETAIL, OFFICE, PERSONAL SERVICE, OR SIMILAR USES.
- RESTAURANT OR SIMILAR USES THAT EMIT ODORS OR FUMES, OR THAT NEED A GREASE INTERCEPTOR, ARE PROHIBITED AS LIVE-WORK UNITS
- LIVE/WORK UNITS MUST REMAIN AS A SINGLE UNIT WITH ONE TENANT. THE WORK SPACE MAY NOT BE RENTED, LEASED, SUBDIVIDED, OR IN ANY WAY SEPARATED FROM THE LIVING SPACE.
- THE DESIGNATED WORK SPACE OF A LIVE-WORK UNIT MAY NOT HAVE PLUMBING OTHER THAN ONE HANDICAP ACCESSIBLE BATHROOM WITH A SINGLE TOILET AND SINK. SHOWER AND/OR TUB OPTIONAL.
- SHOULD THE LIVE-WORK UNITS BE SEPARATED INTO SEPARATE RESIDENTIAL AND COMMERCIAL USES, THE COMMERCIAL PORTION WILL BE REQUIRED TO BE REPLUMBED AND METERED AS COMMERCIAL IN ACCORDANCE WITH CITY CODE AND THE TAP SIZE WILL BE RE-EVALUATED.
- SHOULD THE DESIGNATED WORK SPACE BE INCREASED IN SIZE ABOVE 50% OF THE FLOOR AREA OF THE LIVE/WORK UNIT, THEN THE ENTIRE UNIT MUST BE METERED OFF A COMMERCIAL METER. OTHER REQUIREMENTS, SUCH AS GREASE INTERCEPTOR MAY ALSO APPLY
- THE CITY'S FIRE CODE, BUILDING CODE, NUISANCE REGULATIONS, AND OTHER LIFE/SAFETY STANDARDS SHALL APPLY TO THE DESIGNATED WORK SPACE OF THE LIVE-WORK UNIT.
- PARKING FOR LIVE/WORK UNITS SHALL BE PROVIDED AT A RATION OF 0.5 SPACES PER UNIT. REQUIRED PARKING SPACES MAY BE USED FOR RESIDENTIAL OR COMMERCIAL PARK NEEDS.
- THE DESIGNATED WORK SPACE OF A LIVE-WORK UNIT MUST BE LOCATED ON THE STREET LEVEL WITH AN ENTRY FROM THE STREET THAT IS HANDICAP ACCESSIBLE PER FEDERAL ADA REQUIREMENTS.
- SERVICE ACCESS TO THE DESIGNATED WORK SPACE OF THE LIVE-WORK UNIT SHALL BE FROM THE STREET LEVEL ENTRY.
- OUTDOOR PATIO OR OUTDOOR LIVING SPACE ASSOCIATED WITH THE
- LIVE PART OF THE LIVE-WORK UNIT SHALL BE CLEARLY SEPARATED FROM THE ENTRY AREA OF TO THE DESIGNATED WORK SPACE.
- SIGNAGE CRITERIA FOR THE WORK SPACE SHALL BE NOTED ON THE ODP AND SHALL BE CONSISTENT WITH THE CITY'S SIGNAGE REGULATIONS.
- ANY OUTDOOR DISPLAY OF MERCHANDISE ASSOCIATED WITH THE WORK SPACE IS PROHIBITED.

STANDARD STATEMENTS

- THE PROJECT OWNER/DEVELOPER AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION DRAWINGS AND DOCUMENTS COMPLY WITH ALL REQUIREMENTS OF THE ODP. THE PROJECT OWNER/DEVELOPER SHALL BE HELD RESPONSIBLE FOR ANY CONSTRUCTION AND GRADING COMPLETED THAT DOES NOT COMPLY WITH THE APPROVED ODP AND SHALL BE REQUIRED TO MAKE ALL MODIFICATIONS NECESSARY TO BRING THE PROJECT IN COMPLIANCE WITH THE ODP.
- THE FINAL PLAT FOR THIS PROJECT MUST BE SUBMITTED FOR CITY APPROVAL WITHIN TWELVE (12) MONTHS OF THE APPROVAL DATE OF THIS OFFICIAL DEVELOPMENT PLAN.
- CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- THE DESIGN OF PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE.
- ALL PUBLIC WATER, STORM SEWER AND SANITARY SEWER MAINS AND APPURTENANCES LOCATED IN PUBLIC ROW OR UTILITY EASEMENTS SHALL BE MAINTAINED BY THE CITY OF WESTMINSTER PUBLIC WORKS DEPARTMENT. THE CITY IS NOT RESPONSIBLE FOR REPAIR OR REPLACEMENT OF PAVEMENT, CURB AND GUTTER, LANDSCAPING OR ANY OTHER PRIVATE IMPROVEMENTS WITHIN UTILITY EASEMENTS DAMAGED DURING UTILITY REPAIR OR MAINTENANCE.
- UTILITY BOXES ARE TO BE INSTALLED IN THE LOCATION(S) SHOWN ON THIS ODP. ANY PROPOSED REVISIONS TO THE LOCATION(S) SHOWN ON THIS ODP SHALL REQUIRE AN ODP AMENDMENT PRIOR TO THE INSTALLATION OF THE BOXES, AND THE CITY'S APPROVAL OF SUCH AN AMENDMENT MAY BE CONDITIONAL UPON THE PROVISION OF ADDITIONAL SCREENING (E.G. MASONRY WALL AND/OR LANDSCAPING).
- THE INSTALLATION AND/OR MAINTENANCE OF ANY AND ALL DRAINAGE IMPROVEMENTS NEEDED TO SERVE THIS SITE, INCLUDING BUT NOT LIMITED TO OFFSITE STORM DRAINAGE DETENTION FACILITIES IS AND REMAINS FOREVER THE RESPONSIBILITY OF THE OWNER, ITS HEIRS, SUCCESSORS, AND ASSIGNS AND WILL NOT BECOME THE PROPERTY OR MAINTENANCE RESPONSIBILITY OF THE CITY OF WESTMINSTER WITH THE EXCEPTION OF DESIGNATED REGIONAL STORMWATER OR WATER QUALITY FACILITIES.
- THE PROPERTY OWNER WILL CONVEY TO THE CITY ALL RIGHTS TO NON-TRIBUTARY WATER UNDERLYING THIS PROJECT, AS WELL AS EASEMENTS FOR ACQUISITION OF SUCH WATER AS PART OF THE FINAL PLAT.
- STORM DRAINAGE SHALL ONLY BE DISCHARGED ONTO OR ACROSS PUBLIC LAND AS DESCRIBED IN THE APPROVED DRAINAGE STUDY.
- ANY NEW FACILITY OR MODIFICATIONS TO AN EXISTING DEVELOPMENT THAT RESULT IN ADDITIONAL WATER USE INCLUDING BUILDING FIXTURES, LANDSCAPE, IRRIGATION OR OTHER WATER USE CATEGORY WILL REQUIRE A REVIEW OF EXISTING AND PROPOSED WATER USE PROJECTIONS. THIS REVIEW MAY RESULT IN AN INCREASE IN TAP FEES.
- CITY WILL INSTALL, AT DEVELOPER'S EXPENSE, ALL TRAFFIC CONTROL DEVICES REQUIRED, INCLUDING STREET NAME SIGNS.
- PUBLIC STREET LIGHTS WILL BE INSTALLED, AS DESIGNED BY XCEL ENERGY, IN ACCORDANCE WITH THE CURRENT DESIGN STANDARDS EMPLOYED BY XCEL ENERGY AND APPROVED BY THE CITY OF WESTMINSTER, AT THE DEVELOPER'S EXPENSE.
- ALL LIGHTING WILL BE DIRECTED DOWNWARD, FULL CUTOFF AND SHIELDED. THE PHOTOMETRIC PLAN WILL SHOW NO LIGHT TRESPASS TO RESIDENTIAL PROPERTIES, AND MINIMAL OFF SITE FOR OTHER PROPERTY.
- ALL ROOFTOP EQUIPMENT ON THE BUILDING WILL BE SCREENED TO ITS FULL HEIGHT AND DESIGNED AS AN INTEGRAL PART OF THE BUILDING ARCHITECTURE.
- ALL WATER FEATURES MUST BE FUNCTIONAL AND OPERATE ANNUALLY - AT LEAST FROM MAY 1 THROUGH SEPTEMBER 30.
- ALL SIGNAGE PROPOSED / INSTALLED WILL COMPLY WITH THE WESTMINSTER MUNICIPAL CODE SIGNAGE REGULATIONS AND THIS ODP AND MUST BE SEPARATELY REVIEWED AND PERMITTED WITH A VALID SIGN PERMIT. SIGNAGE LOCATIONS SHOWN ON BUILDING ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY WITH THE INTENT OF PROVIDING ACCEPTABLE LOCATIONS WHERE SIGNAGE CAN BE BEST INTEGRATED INTO THE ARCHITECTURE OF THE BUILDING. THESE LOCATIONS ARE INTENDED TO PROVIDE OPTIONS FOR THE BUILDING'S END-USER TO CONSIDER WHEN APPLYING FOR WALL SIGN PERMITS WITH THE UNDERSTANDING THAT THE CITY'S SIGN CODE MAY FURTHER RESTRICT THE MAXIMUM AREA, LOCATION, AND NUMBER OF PROPOSED SIGNS.
- NO TEMPORARY OR PERMANENT ACCESS WILL BE ALLOWED ON, ADJACENT TO, FROM, OR ACROSS PUBLIC OPEN SPACE AND PUBLIC PARKS, EITHER EXISTING OR LAND TO BE DEDICATED, AS PART OF THE DEVELOPMENT PROJECT.
- FENCING SHALL BE INSTALLED ON THE PRIVATE SIDE OF THE PROPERTY LINE ADJACENT TO PUBLIC LANDS, EITHER EXISTING OR LAND TO BE DEDICATED AS PART OF THE DEVELOPMENT PROJECT, PRIOR TO ANY CONSTRUCTION AND GRADING ACTIVITY. TEMPORARY FENCING IS TO BE MAINTAINED AND SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION. PUBLIC LAND SHALL NOT BE DISTURBED.
- DURING THE CONSTRUCTION PROCESS, THE DEVELOPER AND/OR BUILDER WILL PROVIDE EMERGENCY ACCESS ROADWAYS TO WITHIN 150' OF ALL BUILDINGS AND STRUCTURES, PRIOR TO WALL CONSTRUCTION OR BY SUCH TIME THAT COMBUSTIBLES ARE BROUGHT ON SITE. ANY TEMPORARY ACCESS WILL BE CONSTRUCTED USING A MINIMUM OF 8" OF BASE COURSE AND A SUFFICIENT AMOUNT OF 'ALL-WEATHER' SURFACE MATERIAL THAT WILL SUPPORT THE LOAD OF FIRE APPARATUS.
- DEVELOPER AND BUILDER SHALL PATROL ON A WEEKLY BASIS THE PUBLIC AND OTHER LANDS ADJACENT TO THE DEVELOPMENT DURING THE CONSTRUCTION PROCESS, AND REMOVE CONSTRUCTION DEBRIS TO KEEP THE ADJACENT LANDS CLEAN AND SAFE.
- ADDITIONAL PROJECT NOTES MAY BE FOUND THROUGHOUT THE ODP, INCLUDING STANDARD NOTES FOR LANDSCAPING AND IRRIGATION.

PUD EXCEPTIONS

- DESIGN GUIDELINES FOR TRADITIONAL MIXED-USE NEIGHBORHOOD DEVELOPMENTS, 2.5.1 GENERAL SITE PLANNING

REQUIREMENTS NOT MET: PARKING SHOULD BE LOCATED INTERNAL TO THE BLOCK, MINIMIZING IMPACTS ON THE STREETScape.

JUSTIFICATION: THIS IS AN ADAPTIVE RE-USE PROJECT AND THE EXISTING BUILDING IS SETBACK 30 FEET FROM THE PROPERTY LINE ALONG IRVING STREET. IN ORDER TO PROVIDE ADEQUATE PARKING, SOME PARKING WILL BE PROVIDED ALONG THE NORTHERN AND SOUTHERN PROPERTY LINES BUT WILL BE SET BACK A MINIMUM OF 15 FEET FROM THE PROPERTY LINE ALONG IRVING STREET AND WILL BE BUFFERED FROM VIEW OF THE SIDEWALK WITH PLANTINGS. PARKING WILL NOT BE LOCATED BETWEEN THE BUILDING FACADE AND THE STREET.

SIGN STANDARDS

- ALL WALL SIGNS WILL BE COMPOSED OF INDIVIDUAL RAISED LETTERS. A MONUMENT SIGN FOR THIS SUBDIVISION WILL BE LIMITED TO 32 SQUARE FEET AND MUST BE COMPOSED OF METAL LETTERS OR SIMILAR MATERIALS. NO ELECTRONIC MESSAGE BOARDS ARE ALLOWED.



P.O. BOX 1255, LITTLETON,
 COLORADO 80160-1255
 720 - 539 - 9464



OFFICIAL DEVELOPMENT PLAN

MIDLAND LOFTS

7255 IRVING STREET
 WESTMINSTER, COLORADO

NO.	REVISIONS	DATE
	ODP SUBMITTAL	8/15/2022
	ODP REVISIONS	4/10/2023
	ODP REVISIONS	5/19/2023
	FIRETRUCK EXHIBIT REMISED	6/21/2023
	ODP REVISIONS	7/28/2023
	ODP REVISIONS	8/14/2023

PROJECT NO.	19011
DESIGNED BY:	DCF
DRAWN BY:	DCF

GENERAL NOTES

LEGEND

- W — EXISTING WATER LINE
- SS — SS — EXISTING SANITARY SEWER
- SW — SW — EXISTING STORM SEWER
- G — G — EXISTING GAS LINE
- T — T — EXISTING TELEPHONE LINE
- EX OE — EXISTING ELECTRIC LINE
- — — — — PROPERTY LINE
- — — — — LOT LINE
- X — — — — — EXISTING FENCE
- ▨ — — — — — PR. CONCRETE WALK
- ▨ — — — — — PR. ASPHALT
- ⊠ — — — — — GAS METER
- ⊙ — — — — — SANITARY SEWER MANHOLE
- ⊙ — — — — — UTILITY OR POWER POLE
- ⊙ — — — — — FIRE HYDRANT
- ⊙ — — — — — WATER VALVE
- ⊙ — — — — — WATER METER
- ⊙ — — — — — STORM SEWER MANHOLE
- ⊠ — — — — — TRANSFORMER

OFFICIAL DEVELOPMENT PLAN
MIDLAND LOFTS
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 3 OF 15

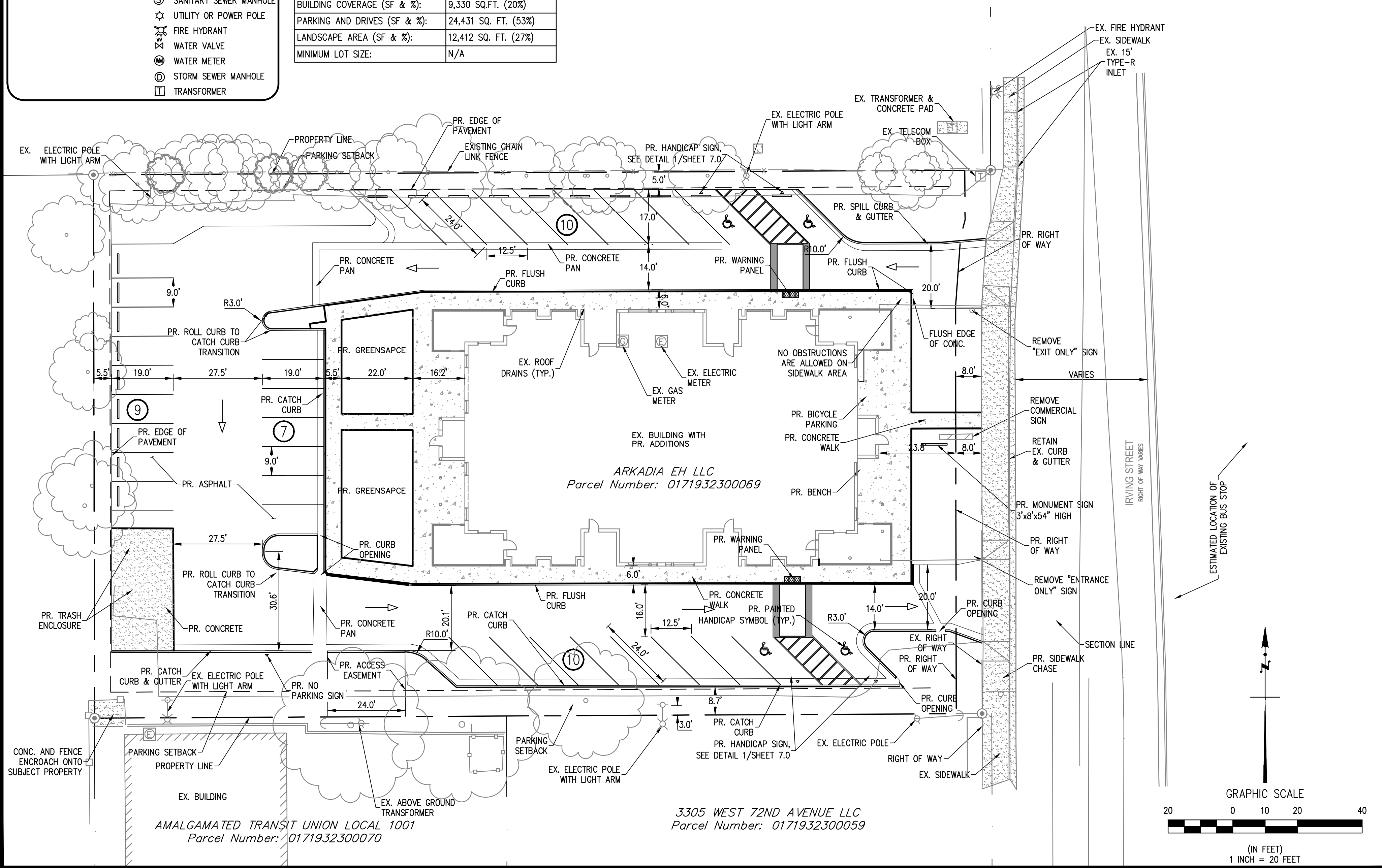
PARKING DATA:

	REQUIRED	PROVIDED
RESIDENTIAL	20	22
LIVE/WORK*	4	10
ACCESSIBLE	1	4
GUEST	4	4
BICYCLE	5	5

*LIVE/WORK REQUIRED PARKING CALCULATED AT A RATIO OF 0.5 SPACES PER UNIT IN ADDITION TO REQUIRED RESIDENTIAL PARKING.

LOTS AND COVERAGE:

TOTAL SITE AREA:	46,173 Sq.Ft. (1.06 Ac.)
NUMBER OF LOTS:	1
BUILDING COVERAGE (SF & %):	9,330 SQ.FT. (20%)
PARKING AND DRIVES (SF & %):	24,431 SQ. FT. (53%)
LANDSCAPE AREA (SF & %):	12,412 SQ. FT. (27%)
MINIMUM LOT SIZE:	N/A



OFFICIAL DEVELOPMENT PLAN
MIDLAND LOFTS
 7255 IRVING STREET
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PROJECT NO. 19011
 DESIGNED BY: DCF
 DRAWN BY: DCF

PREPARE
 architecture

DESIGN GROUP
 P.O. BOX 1255, LITTLETON,
 COLORADO 80160-1255
 720-539-9464

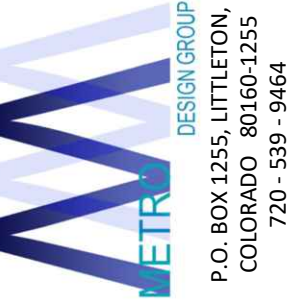
937 JERSEY STREET
 DENVER, COLORADO
 303-974-5951

LEGEND

- W — EXISTING WATER LINE
- SS — EXISTING SANITARY SEWER
- SW — EXISTING STORM SEWER
- G — EXISTING GAS LINE
- T — EXISTING TELEPHONE LINE
- EX OE — EXISTING ELECTRIC LINE
- — PROPERTY LINE
- — LOT LINE
- - - - - EXISTING FENCE
- [Hatched Box] PR. CONCRETE WALK
- [Hatched Box] PR. ASPHALT
- [G] GAS METER
- [S] SANITARY SEWER MANHOLE
- [*] UTILITY OR POWER POLE
- [Fire Hydrant Symbol] FIRE HYDRANT
- [X] WATER VALVE
- [Circle with W] WATER METER
- [Circle with S] STORM SEWER MANHOLE
- [T] TRANSFORMER

OFFICIAL DEVELOPMENT PLAN
MIDLAND LOFTS
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 4 OF 15

NOTES:
 CONTRACTOR TO VERIFY BOTH
 HORIZONTAL AND VERTICAL LOCATION OF
 ALL EXISTING UTILITIES PRIOR TO
 CONSTRUCTION AND NOTIFY THE
 ENGINEER IF DIFFERENT THAN WHAT IS
 SHOWN IN PLANS.

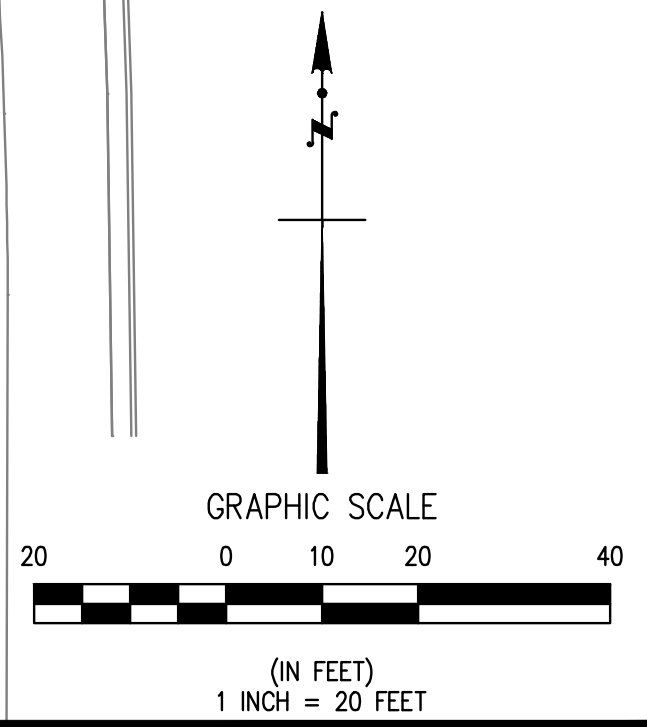
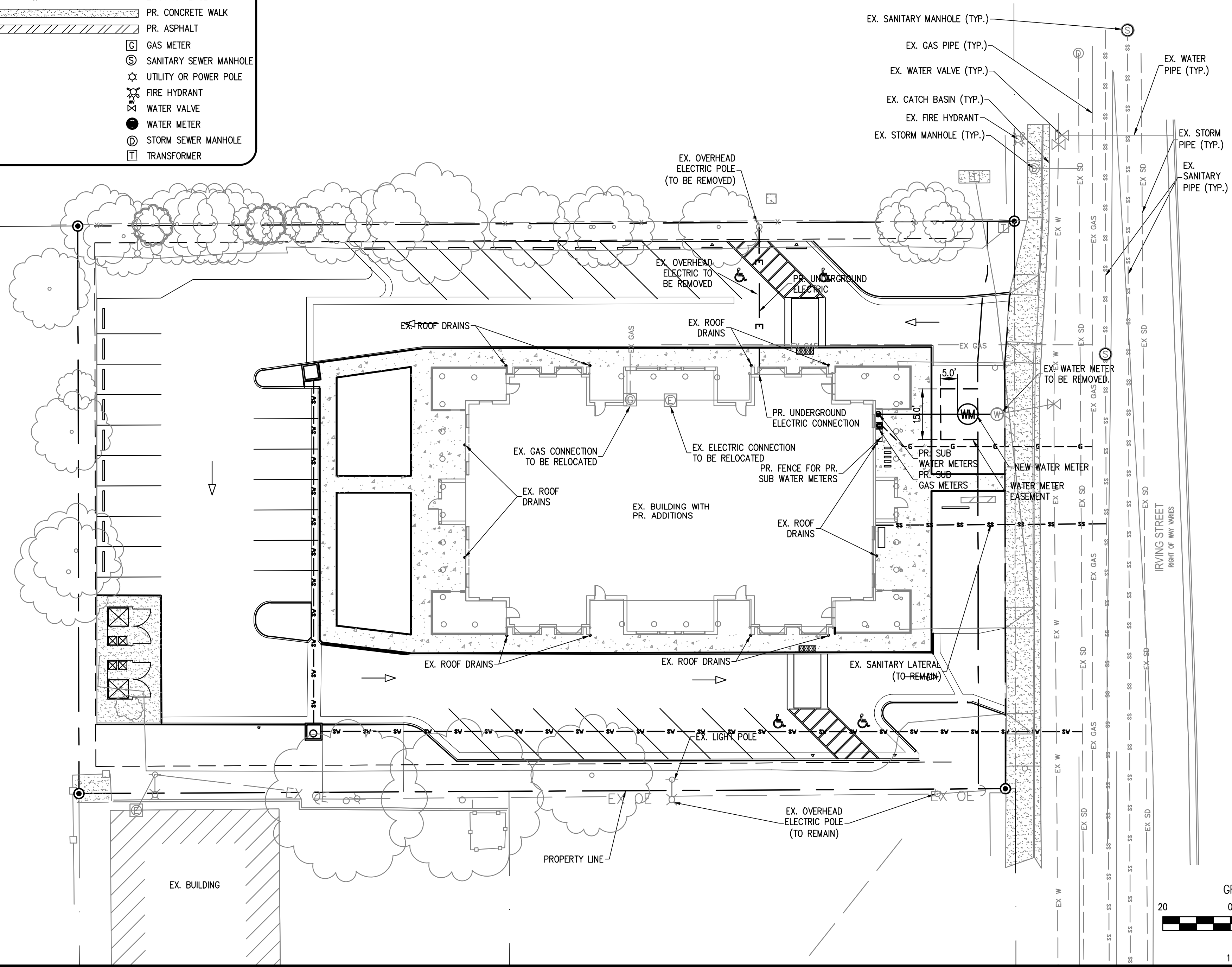


937 JERSEY STREET
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OFFICIAL DEVELOPMENT PLAN
MIDLAND LOFTS
 7255 IRVING STREET
 WESTMINSTER, COLORADO

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PROJECT NO. 19011
 DESIGNED BY: DCF
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OFFICIAL DEVELOPMENT PLAN
MIDLAND LOFTS
 7255 IRVING STREET
 WESTMINSTER, COLORADO

NO.	REVISIONS	DATE
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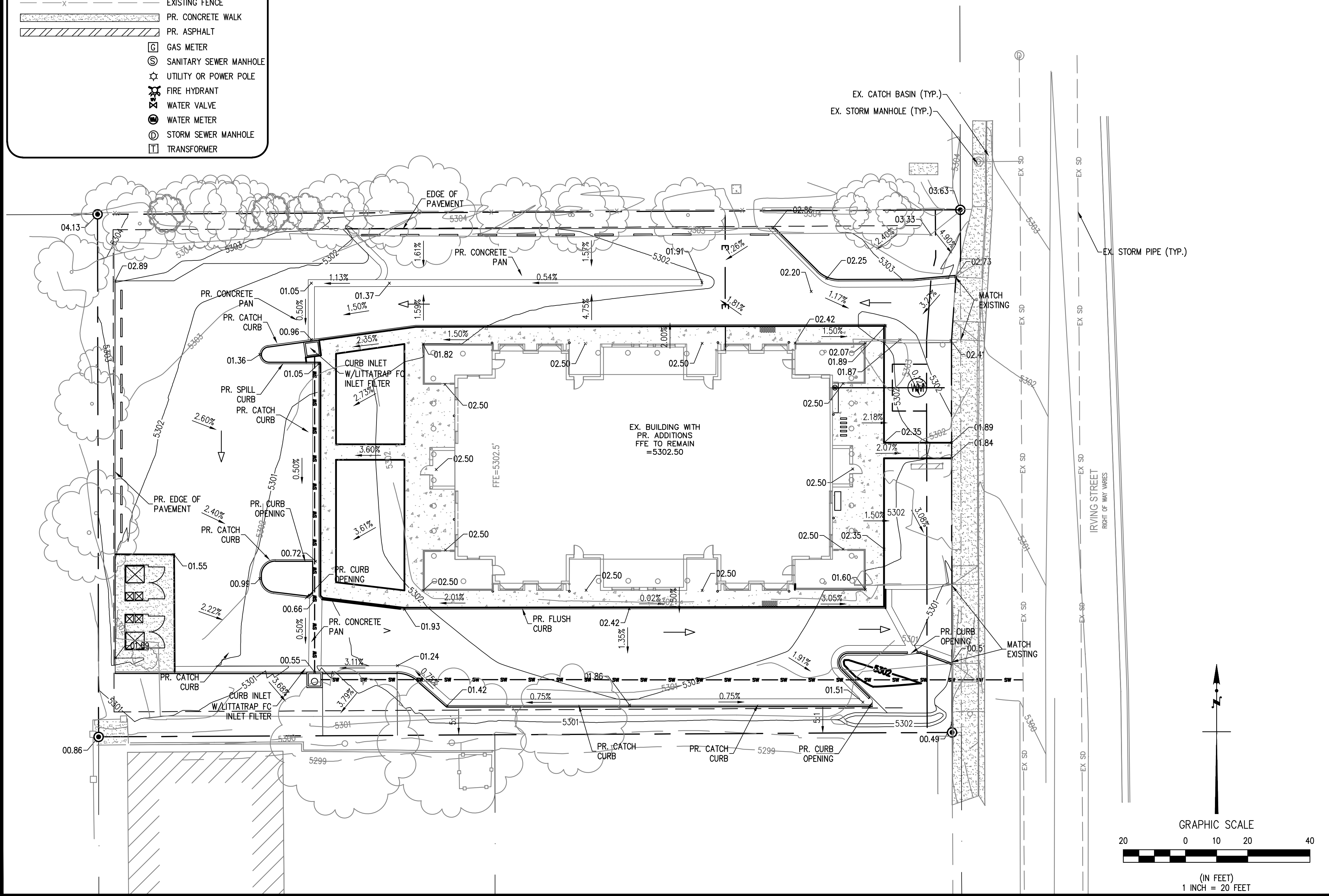
PROJECT NO.	19011
DESIGNED BY:	DCF
DRAWN BY:	DCF

GRADING
 PLAN

OFFICIAL DEVELOPMENT PLAN
MIDLAND LOFTS
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 5 OF 15

LEGEND

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- SS — EXISTING SANITARY SEWER
- SW — EXISTING STORM SEWER
- G — EXISTING GAS LINE
- T — EXISTING TELEPHONE LINE
- EX OE — EXISTING ELECTRIC LINE
- — PROPERTY LINE
- — LOT LINE
- X — EXISTING FENCE
- ▨ — PR. CONCRETE WALK
- ▨ — PR. ASPHALT
- G — GAS METER
- ⊙ — SANITARY SEWER MANHOLE
- ☆ — UTILITY OR POWER POLE
- ⊕ — FIRE HYDRANT
- ⊕ — WATER VALVE
- ⊕ — WATER METER
- ⊙ — STORM SEWER MANHOLE
- ⊕ — TRANSFORMER



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- [Pattern] PR. CONCRETE WALK
- [Pattern] PR. ASPHALT
- [G] GAS METER
- [S] SANITARY SEWER MANHOLE
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- [V] WATER VALVE
- [M] WATER METER
- [D] STORM SEWER MANHOLE
- [T] TRANSFORMER

OFFICIAL DEVELOPMENT PLAN
MIDLAND LOFTS
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 6 OF 15

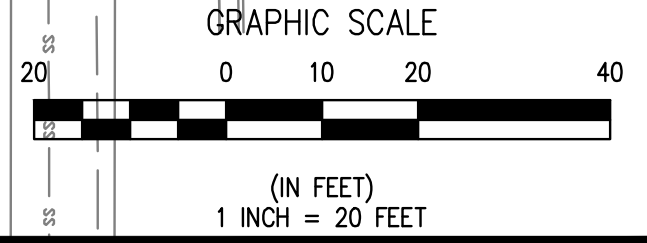
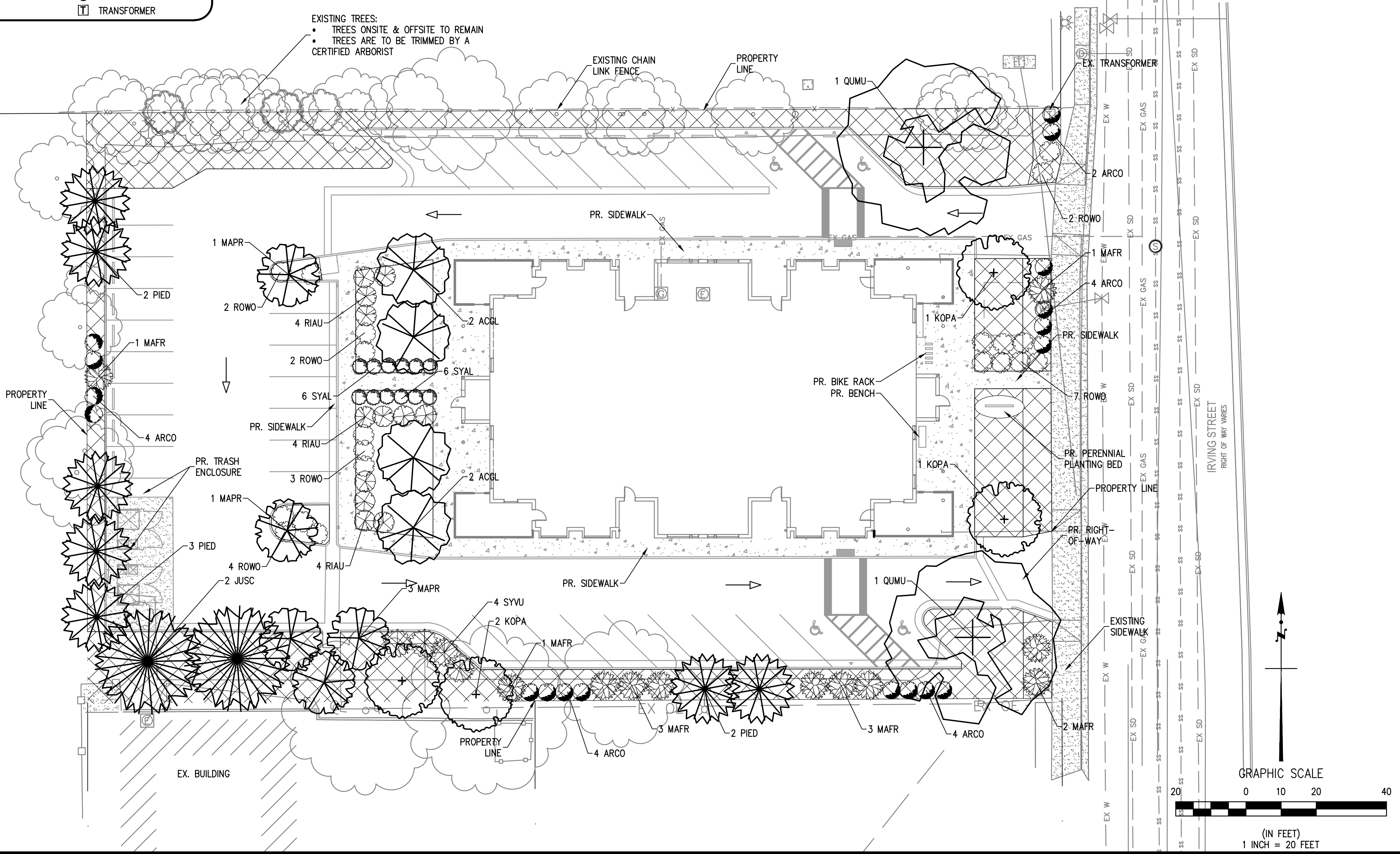
- NOTES:**
- ALL EXISTING TREES TO REMAIN
 - EXISTING TREES ARE TO BE TRIMMED AND PRUNED BY A CERTIFIED ARBORIST
 - ALL DEAD OR DISEASED TREES AS SPECIFIED BY A CERTIFIED ARBORIST MUST BE REMOVED
 - RIVER ROCK MULCH WILL CONSIST OF 1½" GRANITE ROCK AND WILL HAVE A DEPTH OF 3".
 - SOIL AMENDMENT WILL BE 6" IN DEPTH WITH THE SITE NEEDING AT LEAST 47 CY BASED ON A 5 CY PER 1,000 SF OF LANDSCAPING.
 - PERENNIALS TO BE DETERMINED BY OWNER.
 - TREE PROTECTION SHALL BE INSTALLED IN UNDER THE SUPERVISION OF A CERTIFIED ARBORIST PRIOR TO COMMENCEMENT OF WORK. ROOT PRUNING, WHERE NECESSARY SHALL BE PERFORMED BEFORE WORK COMMENCES. SUPPLEMENTAL WATERING THROUGHOUT THE PROJECT MAY BE REQUIRED, PER THE DIRECTION OF THE CERTIFIED ARBORIST.

LANDSCAPE WATER BUDGET			
LANDSCAPE HYDROZONE	COVERAGE (%)	AREA (SF)	TOTAL WATER USE (GAL)
HIGH			x 18 GAL
MEDIUM	11.7	1,454.53	x 10 GAL = 14,545.3
LOW	88.3	10,957.47	x 3 GAL = 32,872.4
TOTAL ALL HYDROZONES:	100	12,412	TOTAL GAL = 47,417.7
TOTAL GAL / TOTAL LANDSCAPE AREA =			47,417.7 GAL/SF

LAND USE	SURFACE TYPE	AREA (SF)	% OF SITE
MIXED-USE	BUILDING COVERAGE:	9,330	20%
	PAVING AND DRIVES:	24,431	53%
	LANDSCAPE OPEN AREA:	12,412	27%
TOTAL =		46173	100%

*950 SF OF LANDSCAPE R.O.W.

EXISTING TREES:
 • TREES ONSITE & OFFSITE TO REMAIN
 • TREES ARE TO BE TRIMMED BY A CERTIFIED ARBORIST



OFFICIAL DEVELOPMENT PLAN
MIDLAND LOFTS
 7255 IRVING STREET
 WESTMINSTER, COLORADO

NO.	REVISIONS	DATE
	ODP SUBMITTAL	8/15/2022
	ODP REVISIONS	4/10/2023
	ODP REVISIONS	5/19/2023
	FIRETRUCK EXHIBIT REVISED	6/21/2023
	ODP REVISIONS	7/28/2023
	ODP REVISIONS	8/14/2023

PROJECT NO. 19011
 DESIGNED BY: DCF
 DRAWN BY: DCF

LANDSCAPE PLAN

PREPARE
 architecture

ETR DESIGN GROUP
 P.O. BOX 1255, LITTLETON,
 COLORADO 80160-1255
 303-974-9464
 937 JERSEY STREET
 DENVER, COLORADO
 303-974-5951

OFFICIAL DEVELOPMENT PLAN
MIDLAND LOFTS
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 7 OF 15

STANDARD STATEMENTS:

- A. ALL LANDSCAPING SHALL BE IN CONFORMANCE WITH LANDSCAPE REGULATIONS, 2004 EDITION AND ORDINANCE NO. 3133, SERIES OF 2004.
- B. THE TOTAL WATER BUDGET SHALL NOT EXCEED 15 GALLONS/SQUARE FEET/IRRIGATION SEASON (YEAR), UNLESS APPROVED OTHERWISE BY THE CITY.
- C. LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL, (AS DETERMINED BY THE CITY), SHALL BE REPLACED WITHIN 6 MONTHS OF NOTIFICATION BY THE CITY. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST BE MAINTAINED AS REQUIRED BY THE LANDSCAPE REGULATIONS AND THIS OFFICIAL DEVELOPMENT PLAN.
- D. SOIL PREPARATION FOR ALL NON-HARDSCAPE AREAS SHALL INCLUDE TOPSOIL AND/OR ORGANIC MATTER (COMPOST OR AGED GROUND MANURE) AND SHALL BE ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED 8" DEPTH INTO THE SOIL. AN INSPECTION AND AFFIDAVIT REGARDING SOIL PREPARATION WILL BE REQUIRED.
- E. ALL SINGLE FAMILY LOTS ARE REQUIRED TO HAVE SOIL AMENDMENT INSTALLED BY THE DEVELOPER IN ALL YARD AREAS NOT COVERED BY HARDSCAPE.
- F. AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED FOR ALL LANDSCAPE AREAS. AN IRRIGATION AUDIT WILL BE REQUIRED FOR ALL IRRIGATION SYSTEMS, EXCEPTING THOSE INSTALLED BY THE SINGLE FAMILY DETACHED HOMEOWNER.
- G. IRRIGATION SYSTEMS SHALL BE MAINTAINED AND PERIODICALLY ADJUSTED TO ASSURE WATERING EFFICIENCY AND CONSERVATION METHODS. IRRIGATION SHOULD NOT OCCUR BETWEEN THE HOURS OF 10 A.M. AND 6 P.M. IN ORDER TO REDUCE EVAPORATION. EXCESSIVE WATER RUN OFF, AS DETERMINED BY THE CITY, IS NOT PERMITTED.
- H. NO TREE OR SHRUB WILL BE PLANTED WITHIN 5' OF A FIRE HYDRANT.
- I. ALL SHRUB BED AREAS SHALL BE SEPARATED FROM SOD AREAS BY EDGING MATERIAL. MULCH SHALL BE PLACED OVER A SUITABLE WEED BARRIER FABRIC.
- J. FINAL LANDSCAPING AND IRRIGATION DRAWINGS AND PRIVATE IMPROVEMENTS AGREEMENT SHALL BE SUBMITTED TO THE CITY OF WESTMINSTER FOR REVIEW AND APPROVAL PRIOR TO APPROVAL OF FINAL PLAT.
- K. DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.

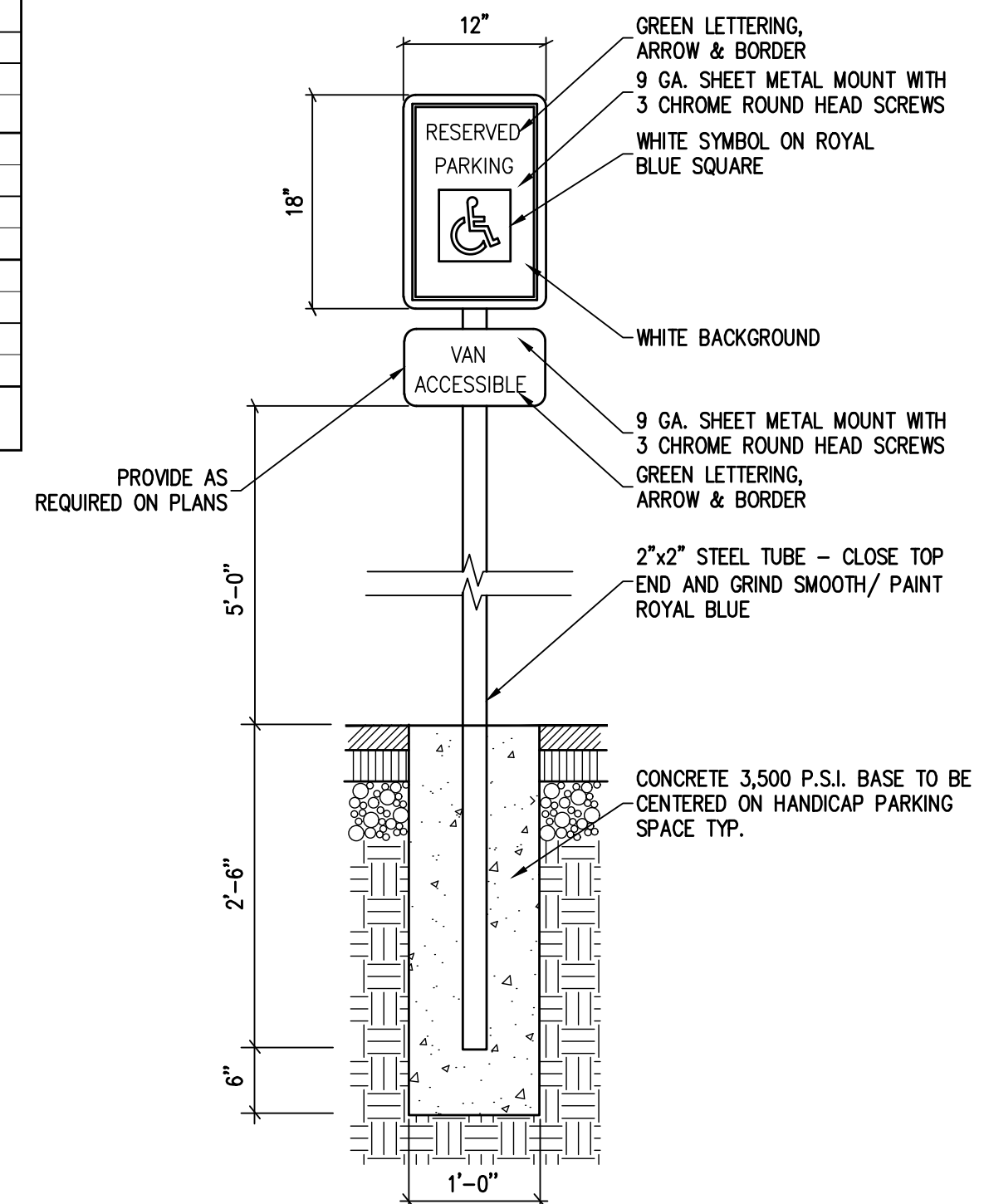
Plan Symbol	Qty / SF	Botanical/Scientific Name	Common Name	Size	Water Use	Deciduous/ Evergreen	* Mature Size (W x H)*	** Native- Y/N	% of total trees	Notes:
SHADE TREES (minimum 2" cal per ANSI Z60 Standards, 20% must be 3" cal; See Landscape Manual for other requirements)										
QUMU	2	<i>Quercus muhlenbergii</i>	Chinkapin Oak	3" cal	L	D	50'x 50'	N	8%	
	2	TOTAL							8%	
LARGE EVERGREEN TREES (minimum 6' height per ANSI Z60 Standards, 30% of total trees, See LM for other requirements)										
PIED	7	<i>Pinus eludis</i>	Pinion Pine	6' tall	L	E	20x20	Y	29%	
JUSC	2	<i>Juniperus scopulorum</i>	Rocky Mountain Juniper	6' tall	L	E	30x20	Y	8%	
	9	TOTAL							38%	
ORNAMENTAL /SMALL STATURE EVERGREEN TREES (maximum 50% of trees; see LM for other requirements)										
KOPA	4	<i>Koelreuteria paniculata</i>	Golden raintree	2" cal	L	D	35'x35'	N	17%	Multistem 3 cane min
MAPR	5	<i>Malus 'Prairie Fire'</i>	Prairie fire Crabapple	2" cal	M	D	30'x30'	N	21%	
ACGL	4	<i>Acer glabrum</i>	Rocky Mountain Maple	2" cal	L	D	20'x25'	Y		
	13	TOTAL							54%	
DECIDUOUS SHRUBS (minimum #5 container, minimum 30% native)										
SYVU	4	<i>Syringa vulgaris</i>	Common lilac	#5	L	D	12'x15'	Y		
SYAL	12	<i>Symphoricarpos albus</i>	Snowberry	#5	L	D	4'x4'	Y		
RIAU	12	<i>Ribes aureum</i>	Golden currant	#5	L	D	6'x6'	Y		
ROWO	20	<i>Rosa woodsii</i>	Native pink rose	#5	L	D	6'x6'	Y		
	48	TOTAL								
EVERGREEN SHRUBS (minimum #5 container, minimum 30% native)										
ARCO	18	<i>Arctostaphylos x coloradensis</i>	Colorado manzanita	#5	L	E	5'x3'	Y		
MAFR	11	<i>Mahonia fremontii</i>	Desert holy	#5	L	E	3'x12'	Y		
	29	TOTAL								
NON WOODY PLANT MATERIAL										
GRASSES / PERENIAL (minimum #1 container, minimum 30% native)										
	0	TOTAL								
GRASSES / PERENIAL (minimum #1 container, minimum 30% native)										
	0	TOTAL								
VINES / GROUND COVER (minimum #1 container)										
12635	1	<i>1 1/2" RiverRock</i>								
	12635	TOTAL								

* Provide mature tree height and width at 100%
 ** 10% of trees and 30% of shrubs must be native to the areas within the United States with similar climate

REQUIRED TOTALS

TREES	
Native	15
Non-Native	12
Evergreen total	11
TOTAL Native Percentage must be at least	56%
10%	
TOTAL percentage of Evergreens trees must be at least	41%
33%	
SHRUBS/GRASSES/PERENIALS/VINES	
Native	0
Non-Native	0
TOTAL Native Percentage must be at least	#DIV/0!
30%	

	PRIVATE LANDSCAPE AREA (SF)			RIGHT-OF-WAY LANDSCAPE AREA (SF)		
	LANDSCAPE RATIO	# REQUIRED	# PROVIDED	LANDSCAPE RATIO	# REQUIRED	# PROVIDED
TREES	1/550 SF	16	16	1/550 SF	2	2
SHRUBS	3/550 SF	48	48	3/550 SF	6	6



1 HANDICAP SIGN DETAIL
 (SCALE: 3/4" = 1'-0")

OFFICIAL DEVELOPMENT PLAN

MIDLAND LOFTS
 7255 IRVING STREET
 WESTMINSTER, COLORADO

NO.	REVISIONS	DATE
1	ODP SUBMITTAL	8/15/2022
2	ODP REVISIONS	4/10/2023
3	ODP REVISIONS	5/19/2023
4	FIRETRUCK EXHIBIT REVISED	6/21/2023
5	ODP REVISIONS	7/28/2023
6	ODP REVISIONS	8/14/2023

PROJECT NO.	19011
DESIGNED BY:	DCF
DRAWN BY:	DCF

LANDSCAPE
 DETAILS

OFFICIAL DEVELOPMENT PLAN
MIDLAND LOFTS
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 SHEET 8 OF 15

SOIL AMENDMENT REQUIRED			
PRIVATE AREA (SF)	12,412	x 5 YDS/1000 SF =	62.06 CU.YDS.
R.O.W AREA (SF)	950	x 5 YDS/1000 SF =	4.75 CU.YDS.
TOTAL:			66.81 CU.YDS.

PLACE MIN. 1/2" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE.

TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30. (DECIDUOUS ONLY)

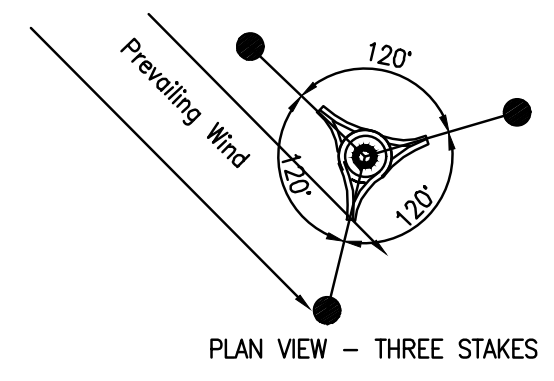
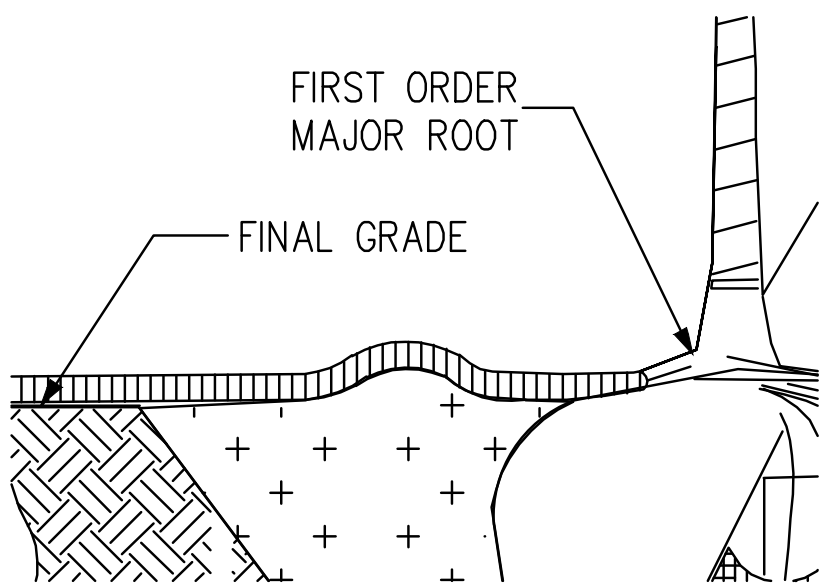
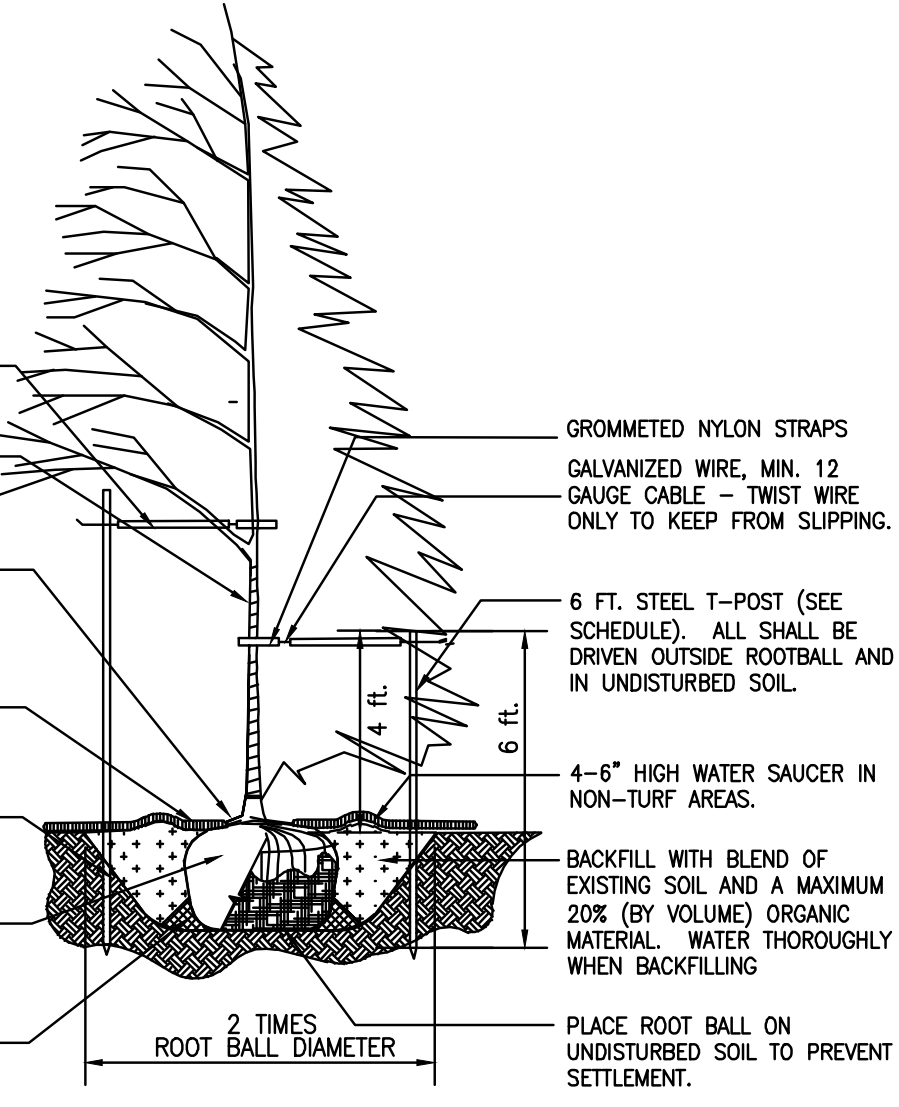
PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE. (SEE DIAGRAM)

3" DEEP MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.

1:1 SLOPE ON SIDES OF PLANTING HOLE.

REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK.

PLACE SOIL AROUND ROOT BALL FIRMLY. DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.



PRUNING NOTES:

ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKING NOTES:

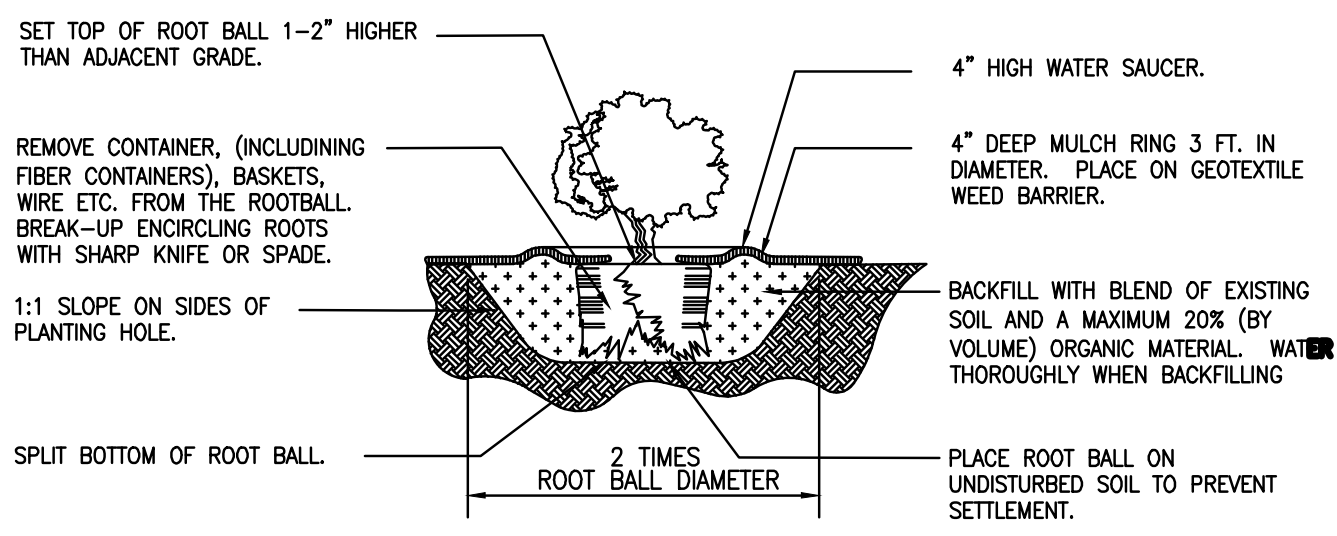
STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON. FOLLOWS:

1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE).

1-1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE.

3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM

WIRE OR CABLE SHALL BE MIN. 12 GAUGE. TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.



PLACEMENT NOTES:

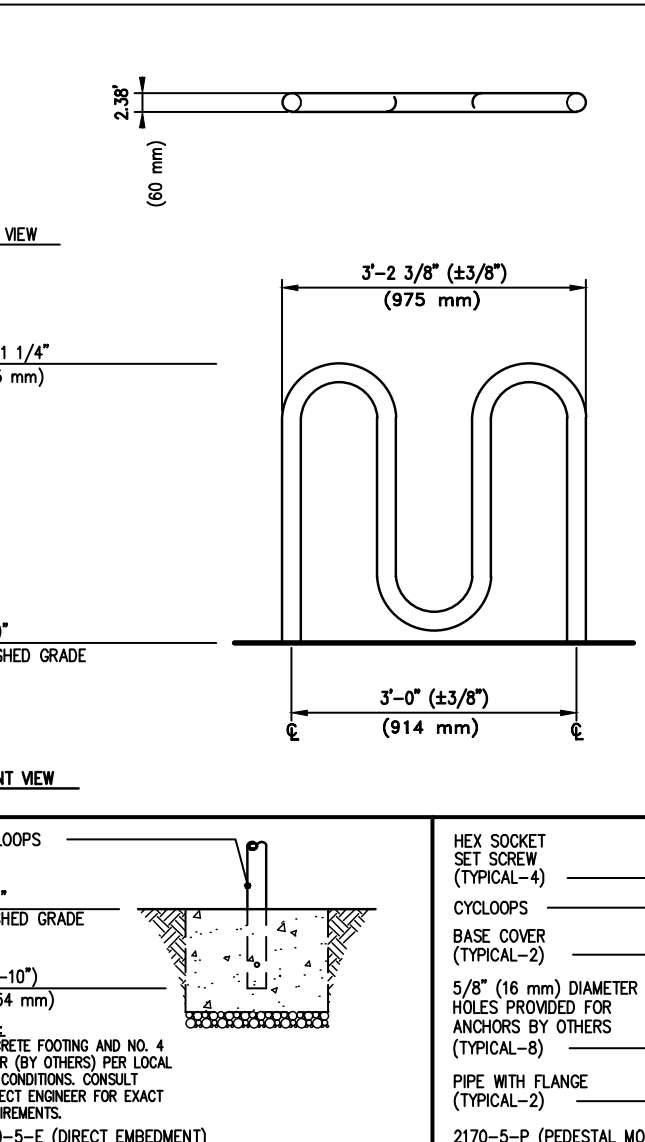
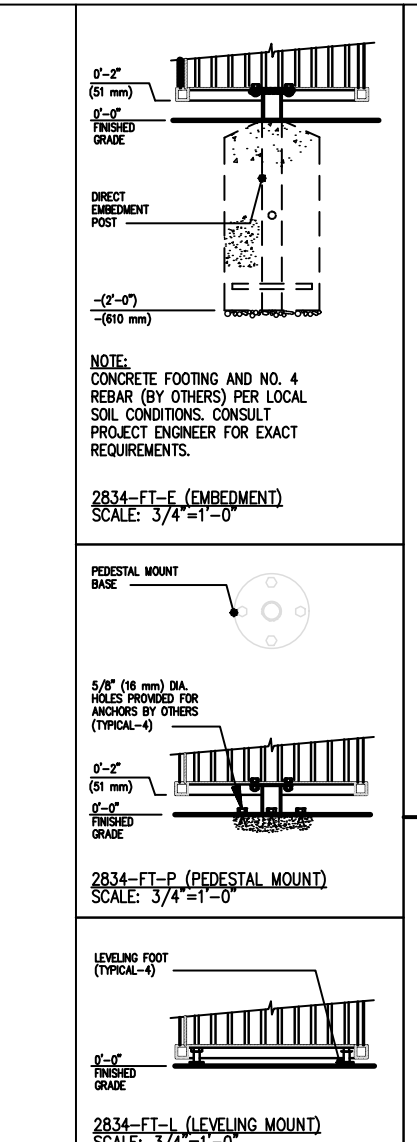
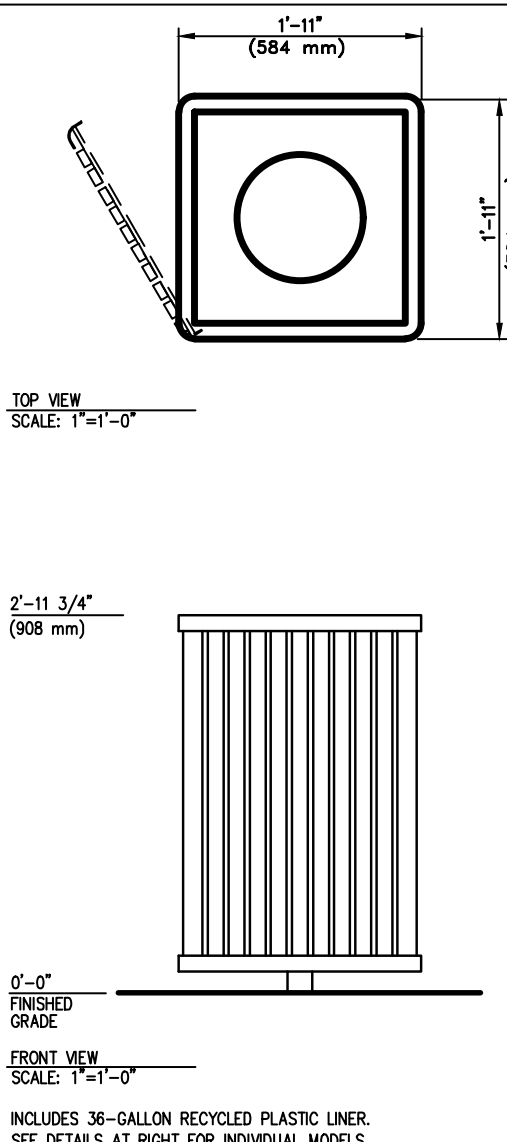
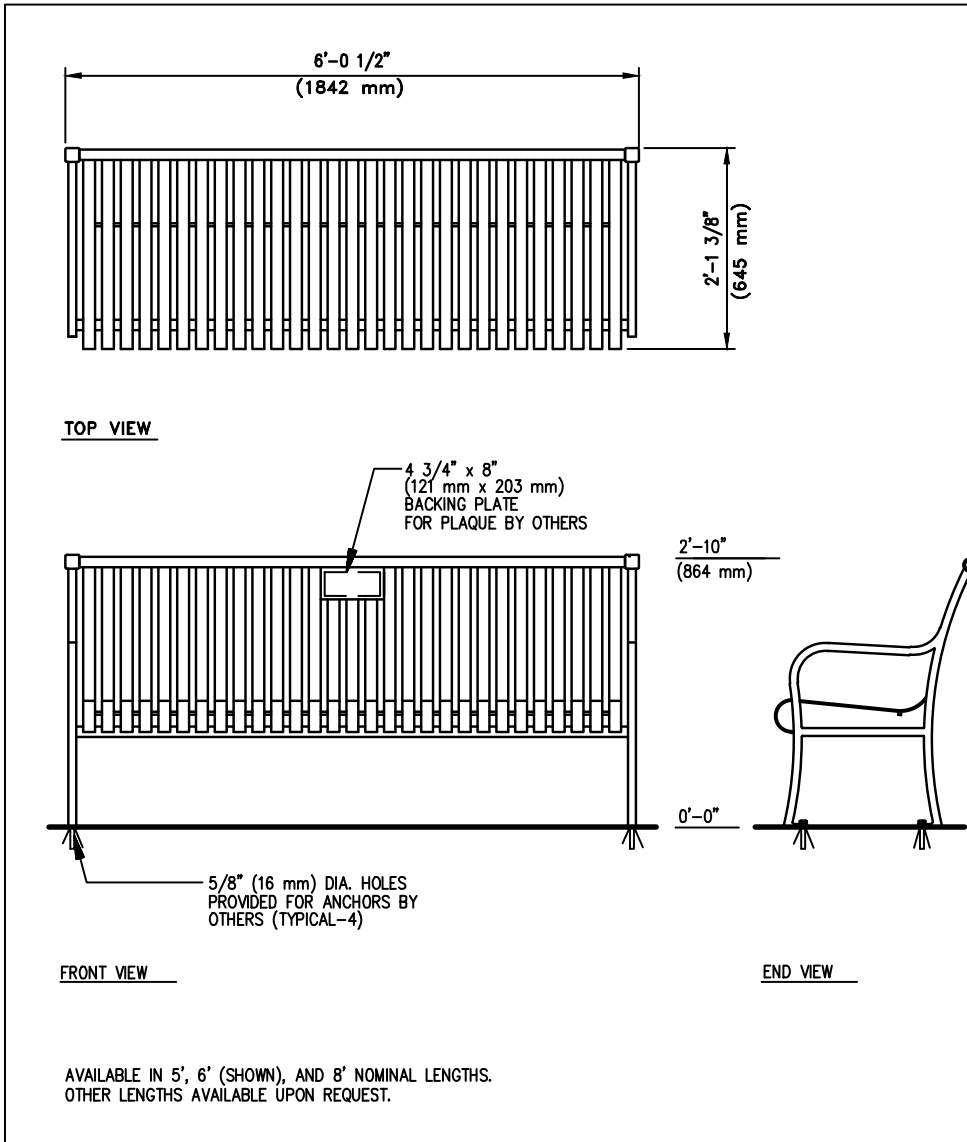
SET SHRUB PLUMB. SPACE PLANTS, AND PLACE FOR BEST EFFECT.

PRUNING NOTES:

DO NOT HEAVILY PRUNE THE SHRUB AT PLANTING. PRUNE ONLY DEAD OR BROKEN BRANCHES. IF FORM IS COMPROMISED BY PRUNING, REPLACE SHRUB.

TREE PLANTING DETAIL
 NOT TO SCALE

SHRUB PLANTING DETAIL
 NOT TO SCALE



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COLUMBIA CASCADE COMPANY
 Timberform® Renaissance
 MODEL NO. 2834-FT
 BENCH WITH ARMRESTS AND PLAQUE

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 Portland, Oregon 97209-3484
 Telephone: 503/223-1157
 Facsimile: 503/223-4530
 USA
 WWW.TIMBERFORM.COM

Drawn by: AT
 Date: 07-04-10
 Scale: 3/4"=1'-0"

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COLUMBIA CASCADE COMPANY
 Timberform® Manoir
 MODEL NO. 2834-FT
 LITTER CONTAINER, SIDE EMPTY WITH FLAT TOP

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 Telephone: 503/223-1157
 Facsimile: 503/223-4530
 USA
 WWW.TIMBERFORM.COM

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 Timberform® Cycloops
 MODEL NO. 2170-5
 ORIGINAL CYCLOOPS

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 Portland, Oregon 97209-3484
 Telephone: 503/223-1157
 Facsimile: 503/223-4530
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COLUMBIA CASCADE COMPANY
 Timberform® Firetruck
 MODEL NO. 2170-5
 ORIGINAL CYCLOOPS

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OFFICIAL DEVELOPMENT PLAN
MIDLAND LOFTS
 7255 IRVING STREET
 WESTMINSTER, COLORADO

NO.	REVISIONS	DATE
	ODP SUBMITTAL	8/15/2022
	ODP REVISIONS	4/10/2023
	ODP REVISIONS	5/19/2023
	FIRETRUCK EXHIBIT REVISED	6/21/2023
	ODP REVISIONS	7/28/2023
	ODP REVISIONS	8/14/2023

PROJECT NO. 19011
 DESIGNED BY: DCF
 DRAWN BY: DCF

LANDSCAPE DETAILS

8 OF 16

OFFICIAL DEVELOPMENT PLAN
MIDLAND LOFTS
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 8 OF 15

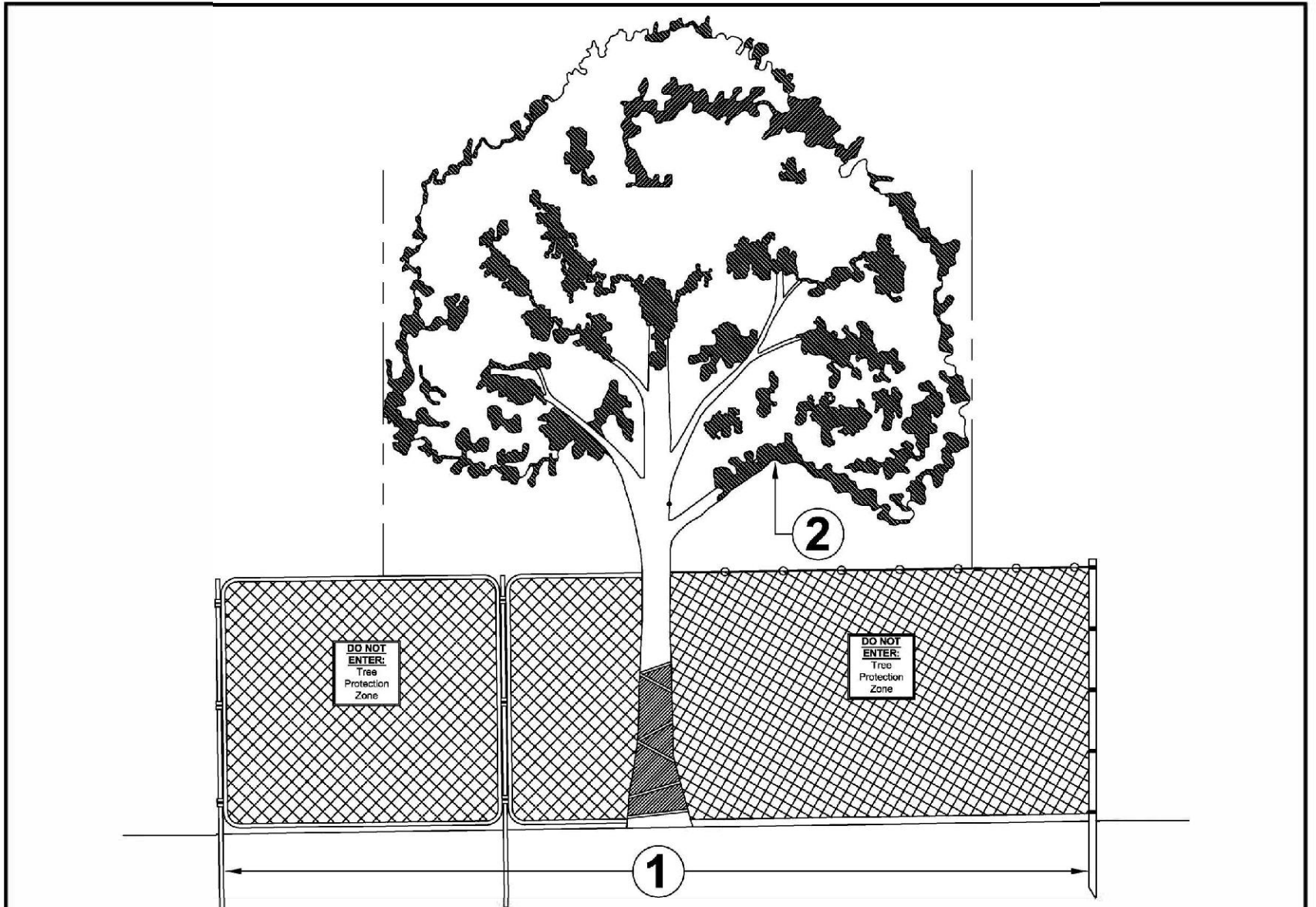


OFFICIAL DEVELOPMENT PLAN
MIDLAND LOFTS
 7255 IRVING STREET
 WESTMINSTER, COLORADO

NO.	REVISIONS	DATE
	ODP SUBMITTAL	8/15/2022
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	FIRETRUCK EXHIBIT REMISED	6/21/2023
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PROJECT NO.	19011
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LANDSCAPE
 DETAILS



TREE PRESERVATION FENCING MUST BE INSTALLED PER PLAN, AS APPROVED BY THE CITY FORESTER

GENERAL NOTES:

- All trees designated for preservation shall be deep root watered at a rate of 10 gallons per inch of DBH at least biweekly when temperatures exceed 40 degrees Fahrenheit. Example: 6" DBH tree receives 6 x 10 gallons, or 60 gallons of water each watering. Site conditions may dictate more frequent watering. Watering log must be maintained onsite during construction.
- No materials, debris, equipment, or site amenities shall be stored within the tree preservation fence.
- No changes to the location of the fence, temporary or permanent shall be made without prior approval by the City.
- Violation of these directives or damage to a protected tree is subject to penalty.

AREA 1: Tree Protection Fencing

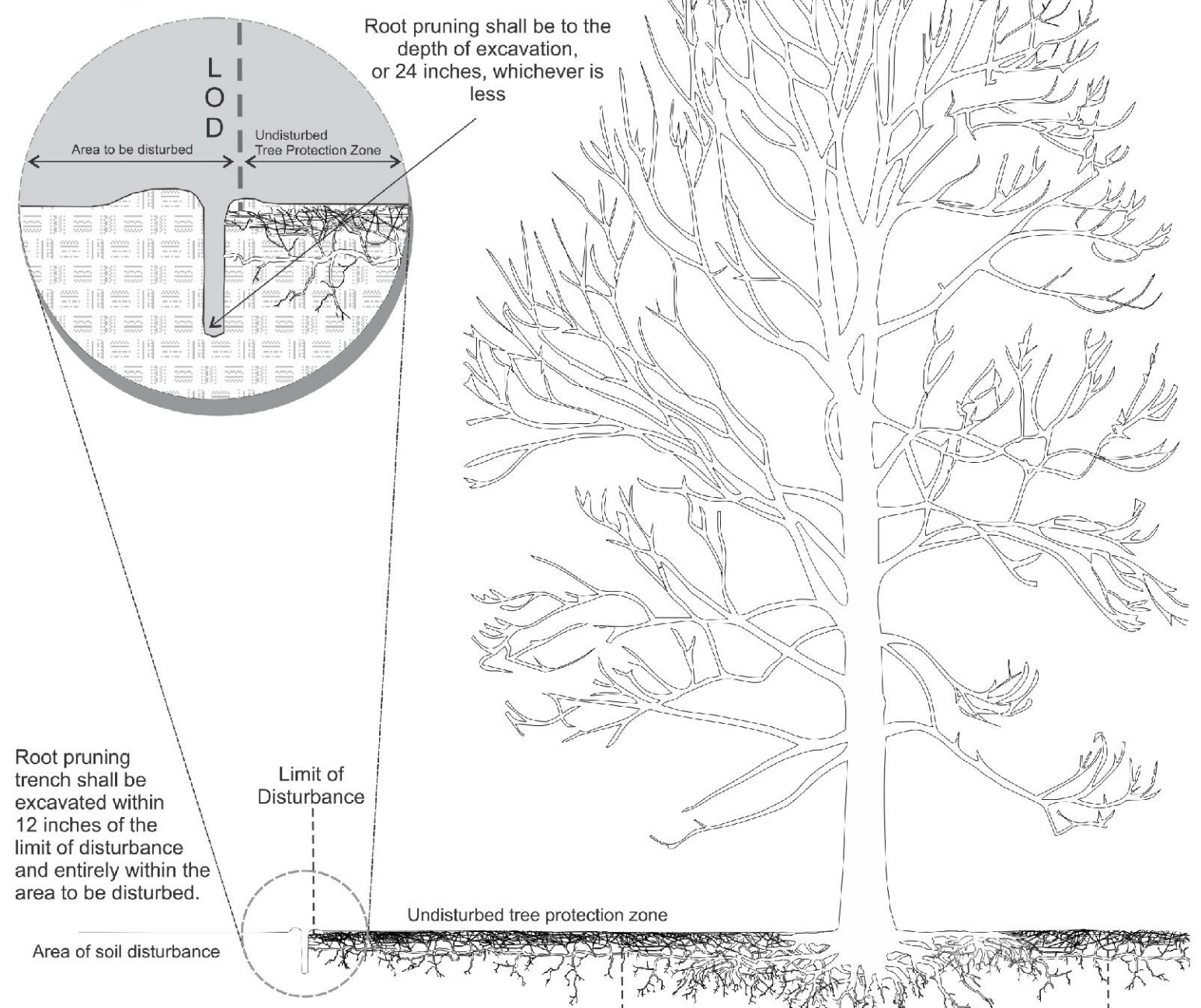
- Tree protection fencing shall be installed at the edge of the Critical Root Zone unless otherwise approved by the City. If the tree is in an urban setting and existing pavement will not be disturbed, the tree protection fencing shall encompass the entire area that is not under pavement. Root pruning, if required shall be performed by an ISA certified arborist.
- Fencing shall be a minimum of six feet in height and made of steel chain link (roll or panels). When chain link rolls are installed, fence shall be fastened to heavy duty steel posts with safety caps at minimum five (5) attachment points with 12-gauge wire, including points at top and bottom. Weave wire through top of roll to eliminate sag. Posts shall be driven 2' to 3' below grade and spaced at maximum of 10' intervals. Fencing must be kept taut at all times.
- "Tree Protection Area" signs shall be spaced at 50' intervals and when the fence makes a turn.
- Tree protection fencing shall be maintained in the location and condition in which approved and remain until all work is complete and authorization for fence removal is obtained from the City.

AREA 2 : Canopy Protection

- Tree protection fencing shall be installed so canopy falls within the vertical planes of the fence.
- Limbs shall be pruned only with consent of the City Forester and be conducted by an ISA Certified Arborist.

	TREE PROTECTION FENCE DETAIL	NTS
		Revised 09/2022

Backfill the root-pruning trench with excavated soil and mulch the trench line with 2 to 4 inches of shredded wood mulch. Trench may not remain open longer than 24 hours without watering. Except where erosion and sediment control devices are already provided, tree protection fence shall be installed along the limits of disturbance where this intersects a tree protection zone. Root pruning shall be executed by an ISA Certified Arborist.



Mechanical root pruning is not allowed within the structural root zone without prior approval from the City Forester. However, supersonic air or hydroexcavation tools may be used in these areas without prior permission if these activities are implemented by an ISA Certified Arborist

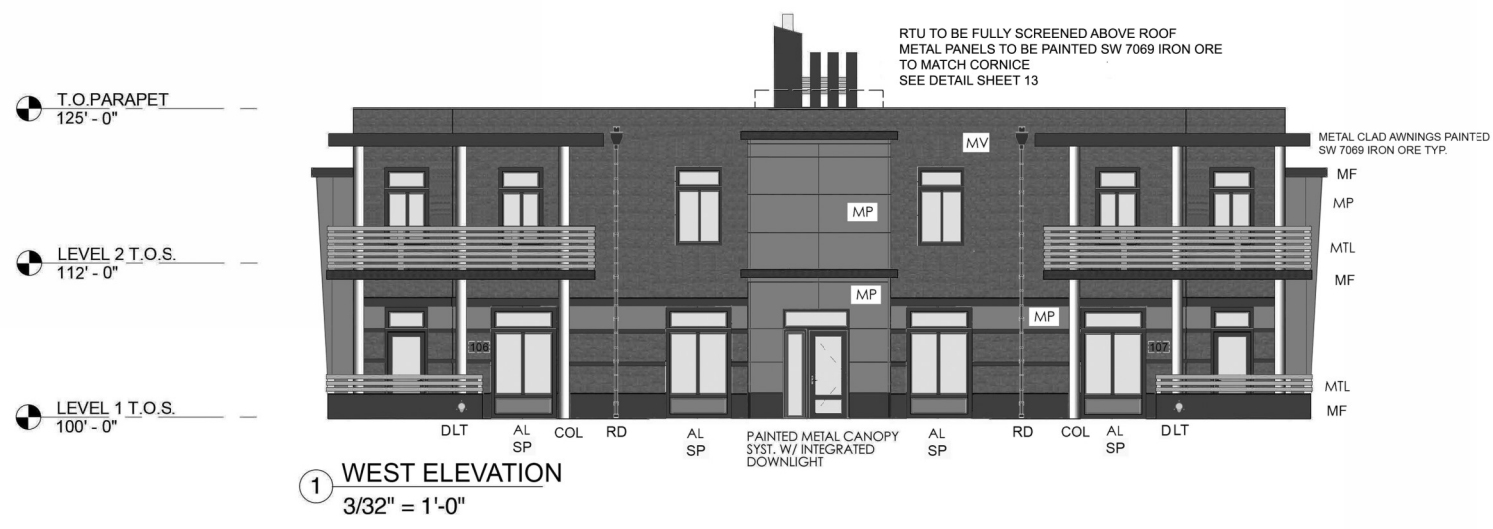
Structural Root Zone Formula:
 0.5 X Diameter of tree in inches

	ROOT PRUNING AND STRUCTURAL ROOT ZONE FORMULA	NTS
		Revised

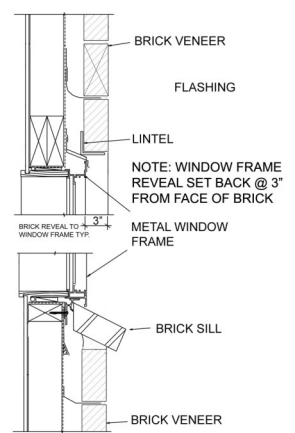
OFFICIAL DEVELOPMENT PLAN
MIDLAND LOFTS
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 9 OF 15

ARCHITECTURE
 DESIGN GROUP
 P.O. BOX 1255, LITTLETON,
 COLORADO 80160-1255
 720-599-9464

ARCHITECTURE
 937 JERSEY STREET
 DENVER, COLORADO
 303.974.5951



① WEST ELEVATION
 3/32" = 1'-0"



TYP WALL SECTION @ WINDOW HEAD & SILL NTS

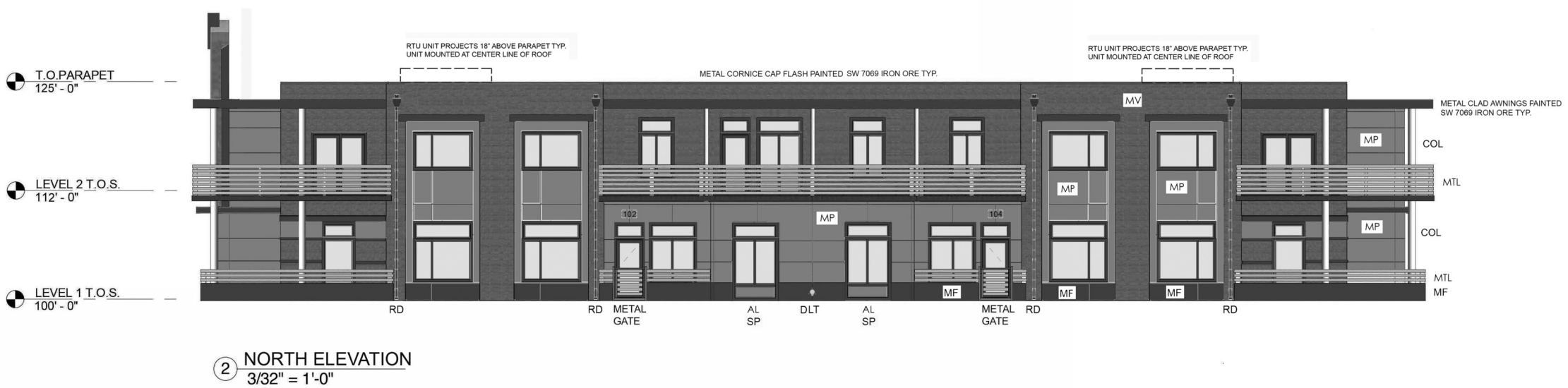
EXTERIOR MATERIAL SCHEDULE

- MV MASONRY VENEER EXISTING TO BE CLEANED & RESTORED
- MP METAL PANEL - FLATLOCK SEAM COLOR: FIRESTONE SLATE GRAY OR SIM.
- AL ALUMINUM WINDOWS & STOREFRONT DARK ANODIZED W/ OPERABLE PANELS.
- SP GLASS SPANDREL PANELS @ BASE OF STOREFRONT SYSTEM
- MTL PAINTED METAL RAILING COLOR: SW 7067 CITYSCAPE OR SIM.
- MF PAINTED METAL FASCIA & BASE COLOR: SW 7069 IRON ORE OR SIM.
- MQ MARQUIS CLADDING: TRANSLUCENT POLYCARBONATE TRIPLE WALL HONEYCOMB PANELS W/ ALUMINUM JOINERY. COLOR: AQUA INTERNALLY ILLUMINATED
- COL PAINTED METAL CLAD COLUMN COLOR: SW 7067 CITYSCAPE OR SIM.
- RD ROOF DRAIN: SCUPPER & OPEN FACED DOWNSPOUT DIRECTED TO LANDSCAPING
- DLT AWNINGS & DECKS TO BE DRAINED THROUGH FALSE COLUMNS TO "LAMBS TONGUE" NOZZLE

ALL ROOFTOP EQUIPMENT WILL BE SCREENED TO ITS FULL HEIGHT

THERE WILL BE NO OFF-SITE GLARE ALLOWED

ALL WALL SIGNS WILL BE COMPOSED OF INDIVIDUAL RAISED LETTERS



② NORTH ELEVATION
 3/32" = 1'-0"

OFFICIAL DEVELOPMENT PLAN
MIDLAND LOFTS
 7255 IRVING STREET
 WESTMINSTER, COLORADO

NO.	REVISIONS	DATE
	CITY COMMENTS	3/12/2021
	PRELIMINARY SET	7/25/2022
	ODP SUBMITTAL	8/15/2022
	ODP SUBMITTAL	8/14/2023

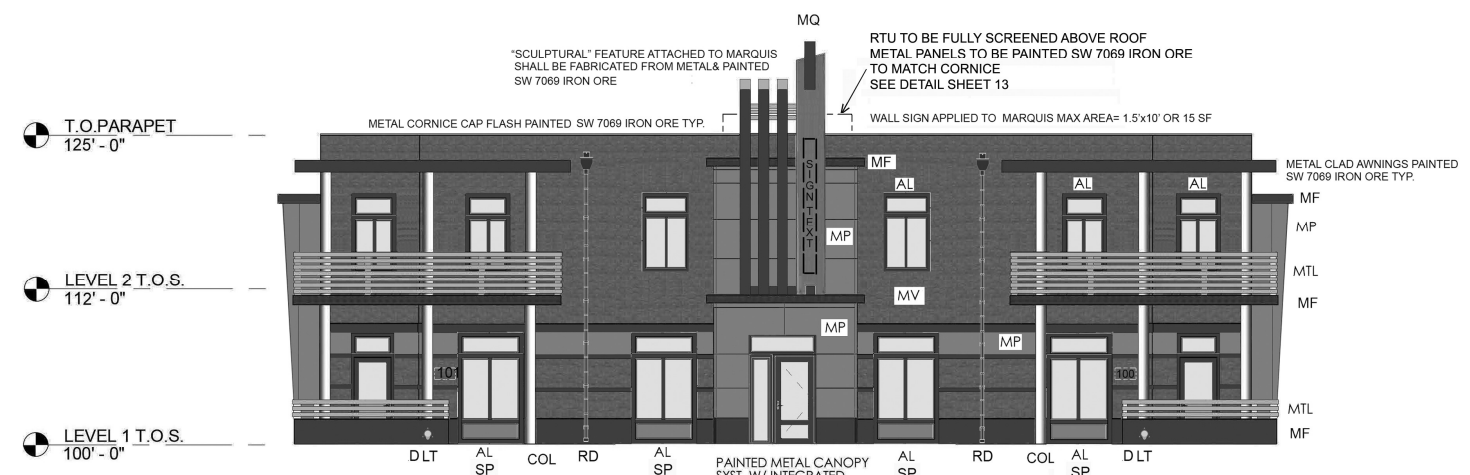
PROJECT NO.	19011
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DRAWN BY:	DCF

NORTH AND WEST ELEVATIONS

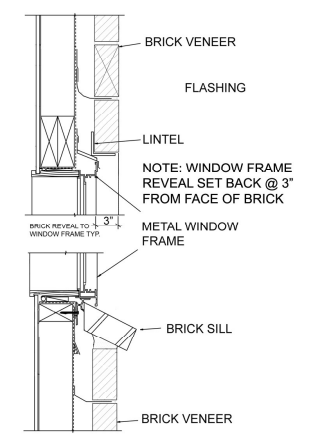
OFFICIAL DEVELOPMENT PLAN
MIDLAND LOFTS
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 10 OF 15



937 JERSEY STREET
 DENVER, COLORADO
 303.974.5951



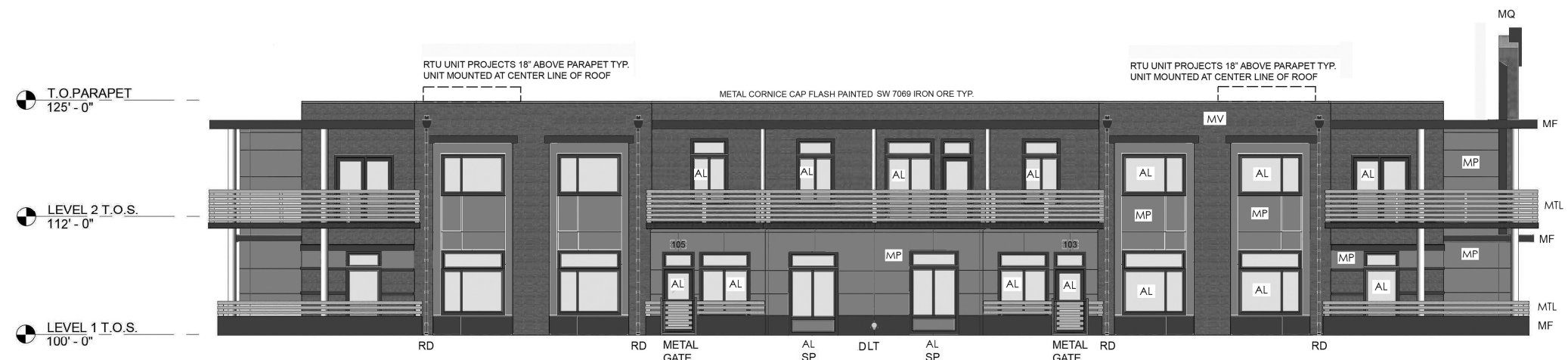
1 EAST ELEVATION
 3/32" = 1'-0"



TYP WALL SECTION @ WINDOW
 HEAD & SILL NTS

EXTERIOR MATERIAL SCHEDULE

- MV MASONRY VENEER
EXISTING TO BE CLEANED & RESTORED
 - MP METAL PANEL - FLATLOCK SEAM
COLOR: FIRESTONE SLATE GRAY OR SIM.
 - AL ALUMINUM WINDOWS & STOREFRONT
DARK ANODIZED W/ OPERABLE PANELS.
 - SP GLASS SPANDREL PANELS @ BASE OF
STOREFRONT SYSTEM
 - MTL PAINTED METAL RAILING
COLOR: SW 7067 CITYSCAPE OR SIM.
 - MF PAINTED METAL FASCIA & BASE
COLOR: SW 7069 IRON ORE OR SIM.
 - MQ MARQUI'S CLADDING:
TRANSLUCENT POLYCARBONATE
TRIPLE WALL HONEYCOMB PANELS
W/ ALUMINUM JOINERY. COLOR: AQUA
INTERNALLY ILLUMINATED
 - COL PAINTED METAL CLAD COLUMN
COLOR: SW 7067 CITYSCAPE OR SIM.
 - RD ROOF DRAIN: SCUPPER
& OPEN FACED DOWNSPOUT
DIRECTED TO LANDSCAPING
 - LT AWNINGS & DECKS TO BE DRAINED
THROUGH FALSE COLUMNS TO
"LAMBS TONGUE" NOZZLE
- ALL ROOFTOP EQUIPMENT WILL BE
SCREENED TO ITS FULL HEIGHT
- THERE WILL BE NO OFF-SITE GLARE ALLOWED
- ALL WALL SIGNS WILL BE COMPOSED OF
INDIVIDUAL RAISED LETTERS



2 SOUTH ELEVATION
 3/32" = 1'-0"

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MIDLAND LOFTS
 7255 IRVING STREET
 WESTMINSTER, COLORADO

NO.	REVISIONS	DATE
	CITY COMMENTS	3/12/2021
	PRELIMINARY SET	7/25/2022
	ODP SUBMITTAL	8/15/2022
	ODP SUBMITTAL	8/14/2023

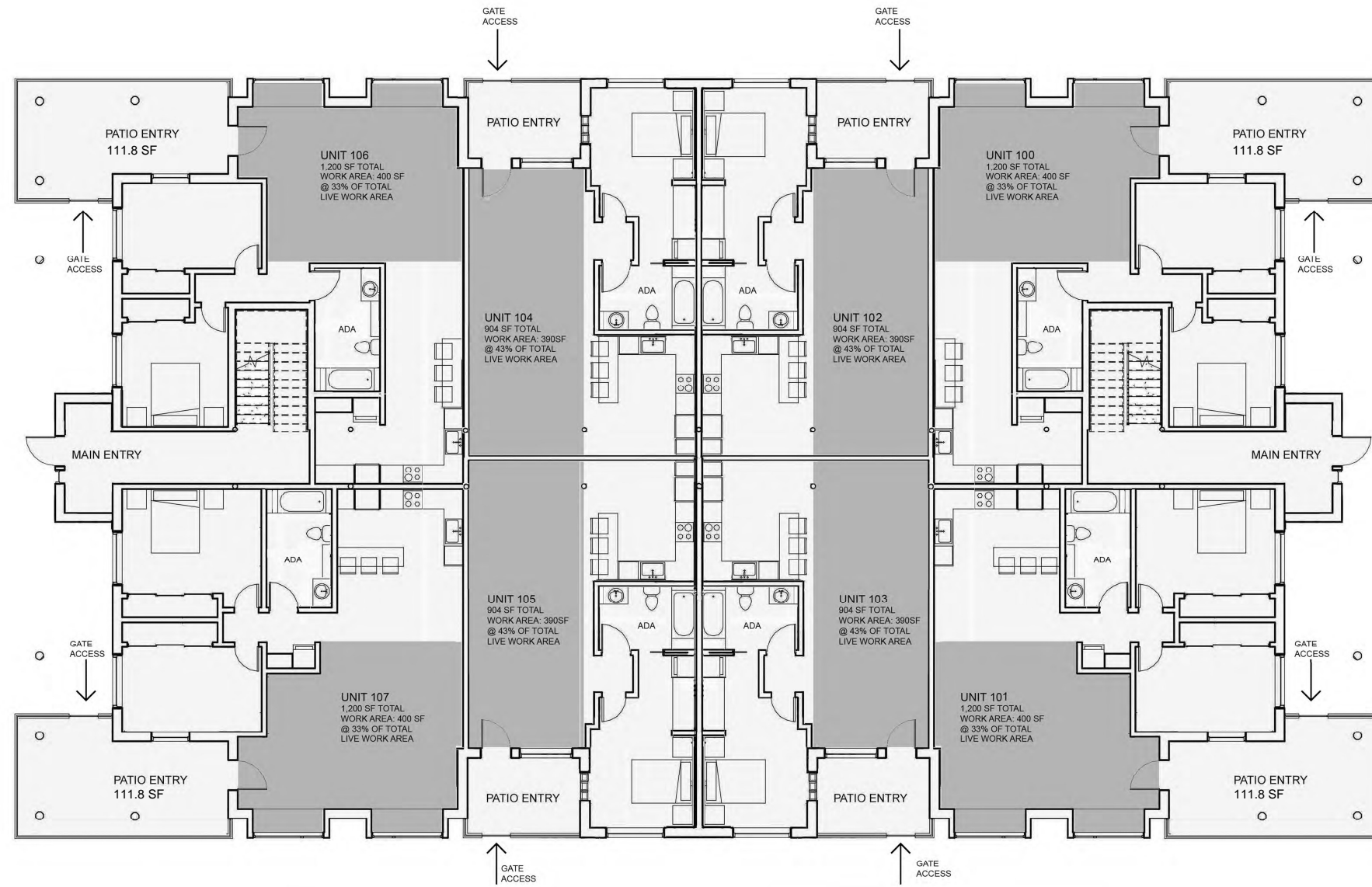
PROJECT NO.	19011
DESIGNED BY:	DCF
DRAWN BY:	DCF
SOUTH AND EAST ELEVATIONS	

OFFICIAL DEVELOPMENT PLAN
MIDLAND LOFTS
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 SHEET 11 OF 15

AW DESIGN GROUP
 P.O. BOX 1255, LITTLETON,
 COLORADO 80160-1255
 720 - 539 - 9464

PROPOSED
 architecture

937 JERSEY STREET
 DENVER, COLORADO
 303.974.5951



MAIN FLOOR PLAN 8 LIVE/WORK UNITS
 SCALE: 3/32"=1'-0"



NOTE:

ALL 8 LIVE /WORK UNITS PROVIDE AN ADA ACCESSIBLE BATHROOM PER LIVE/WORK STANDARDS.

UNITS 102, 104 & 105 SHALL BE DESIGNATED FULLY ADA COMPATIBLE PER IBC & CRS 9-5 REQUIREMENTS.

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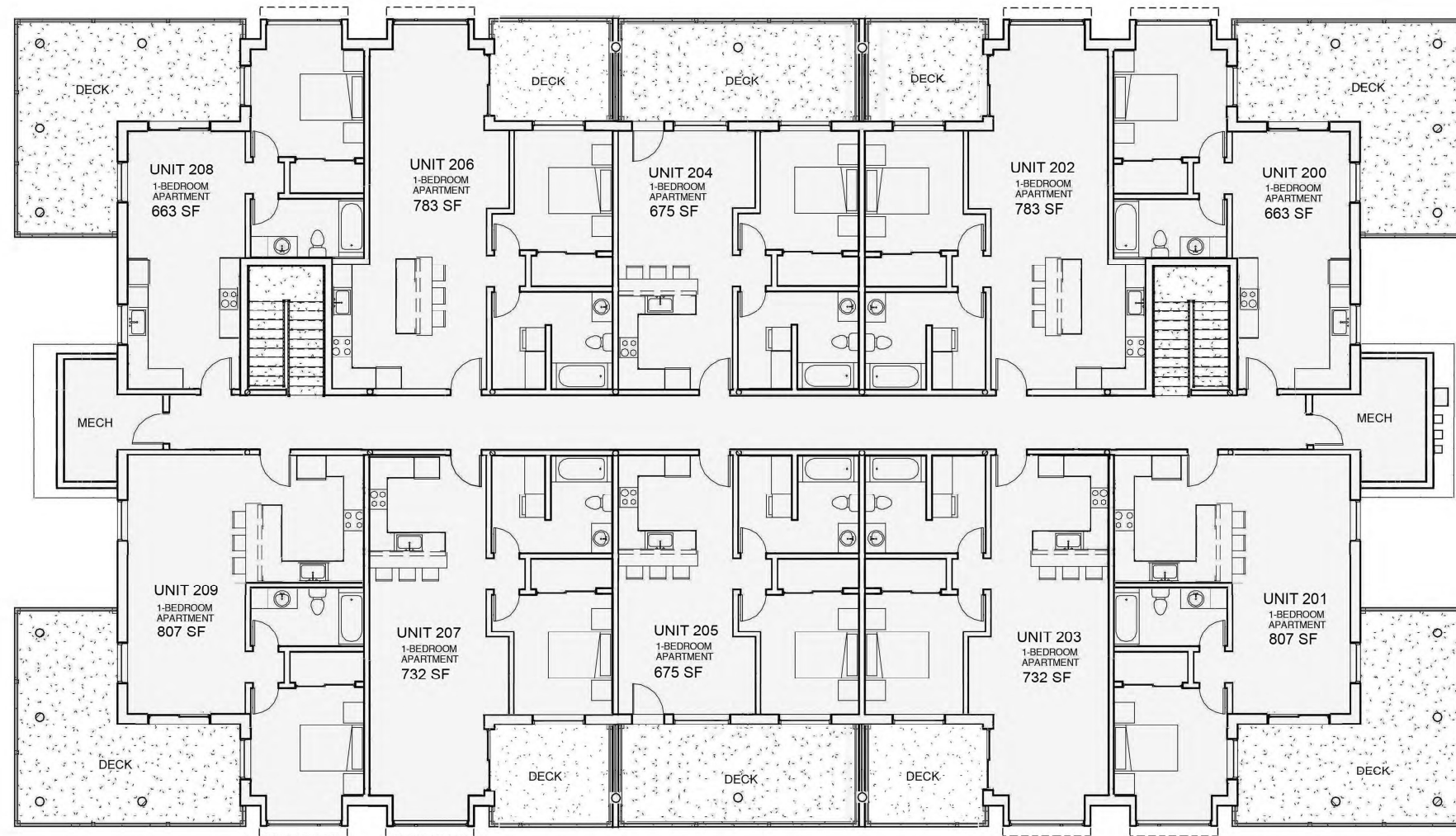
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MAIN FLOOR PLAN	

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 IN THE CITY OF WESTMINSTER
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 SHEET 12 OF 15

AW DESIGN GROUP
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 COLORADO 80160-1255
 720 - 539 - 9464

DR ARCHITECTURE
 937 JERSEY STREET
 DENVER, COLORADO
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SECOND FLOOR PLAN 10 APARTMENT UNITS
 SCALE 3/32"=1'-0"



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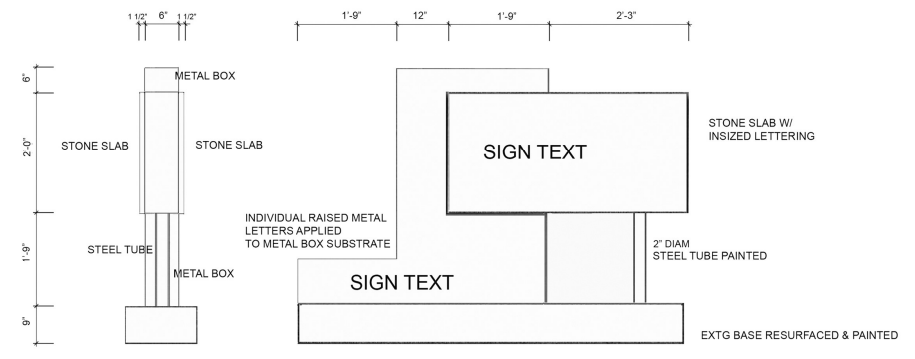
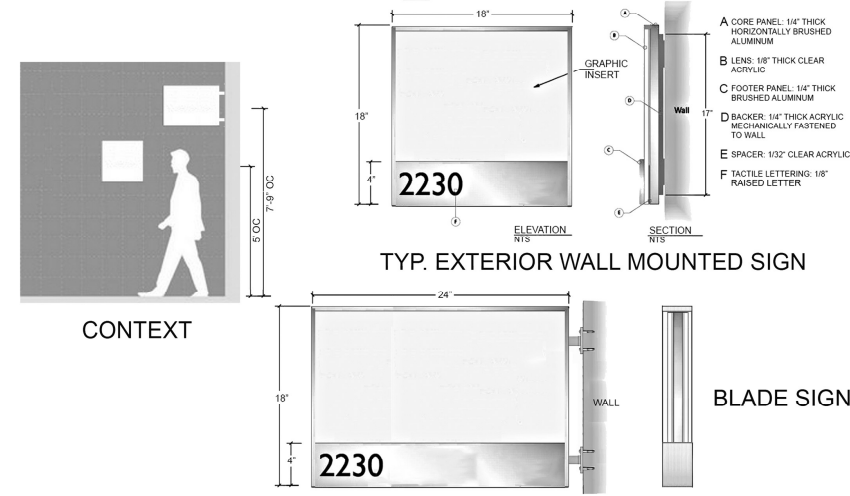
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SECOND FLOOR PLAN	

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 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 13 OF 15

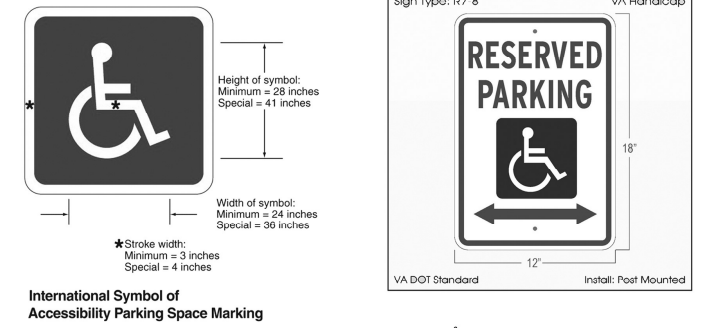
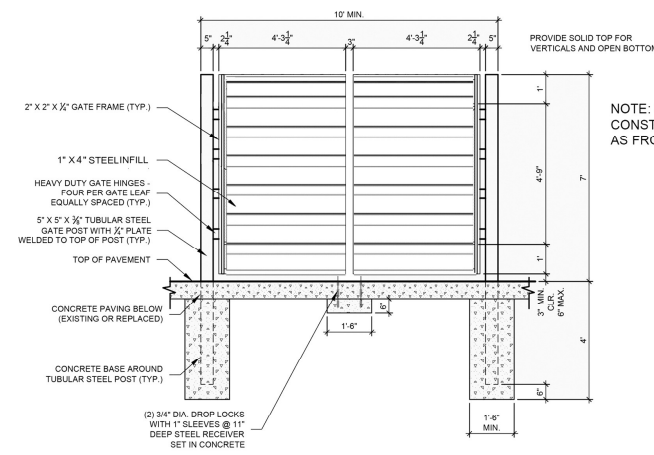
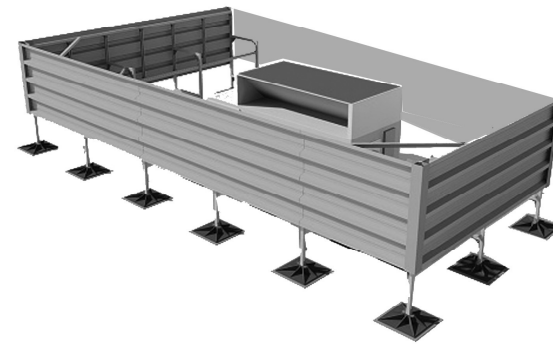
AW DESIGN GROUP
 METRO
 P.O. BOX 1255, LITTLETON,
 COLORADO 80160-1255
 720 - 539 - 9464

PR Architecture
 937 JERSEY STREET
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 303.974.5951

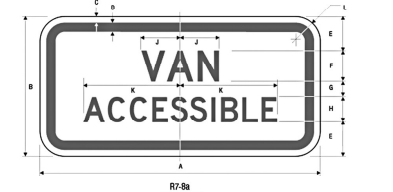


SIGNAGE PROGRAM PER LIVE/WORK UNITS

METAL PANELS @ FULL HEIGHT OF HVAC UNIT
 PAINTED SW 7069 IRON ORE W/ ACCESS GATE

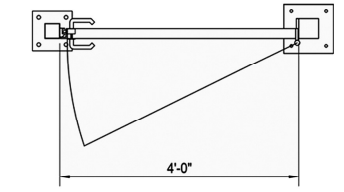


- GENERAL NOTES:**
1. ALL TUBULAR STEEL POSTS, RAILS, PICKETS AND SCREENING COMPONENTS ALONG WITH ACCESSORY ITEMS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE
 2. ALL STEEL COMPONENTS SHALL BE FURNISHED WITH TWO COATS EACH OF COMMERCIAL GRADE PRIMER AND EXTERIOR PAINT (REFERENCE TECHNICAL SPECIFICATIONS FOR ADDITIONAL INFORMATION). FINISH COLOR TO BE BLACK UNLESS NOTED OTHERWISE. CONTRACTOR TO SUBMIT SAMPLES, TO OWNER FOR APPROVAL, PRIOR TO INSTALLATION.



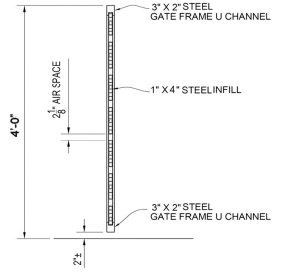
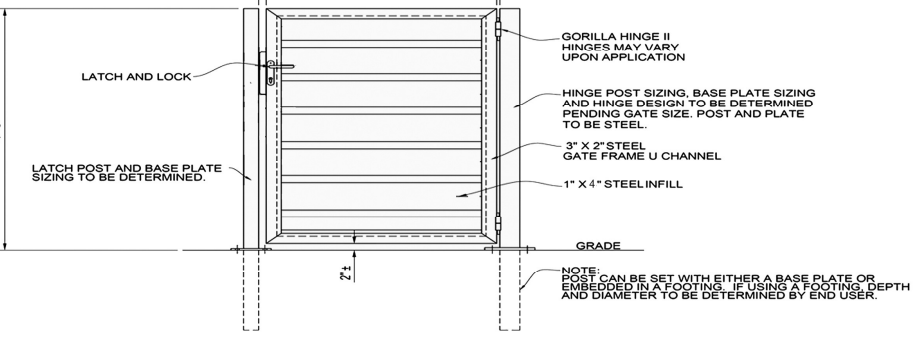
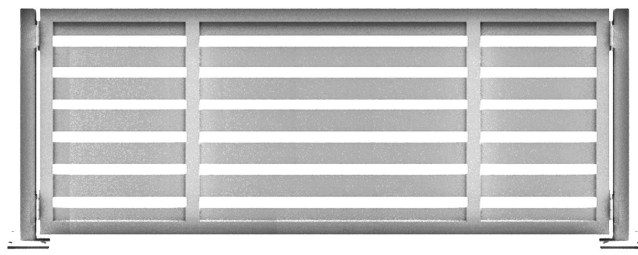
A	B	C	D	E	F	G	H	J	K	L
12	6	.375	.438	1.5	1.5	5	1.0	1.875	3.875	1.5
18	9	.375	.438	2.25	2.0	1	1.5	2.465	5.764	1.5

PARKING APPLICATION
 COLORS: LEGEND - GREEN (RETROREFLECTIVE) OR BLACK (BACKGROUND - WHITE (RETROREFLECTIVE))
DIRECTIONAL APPLICATION
 COLORS: LEGEND - WHITE (RETROREFLECTIVE) (BACKGROUND - BLUE (RETROREFLECTIVE))



DUMPSTER ENCLOSURE GATE ELEVATION

NTS ENCLOSURE TO MATCH GUARD RAIL DETAIL MATERIALS

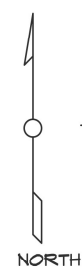
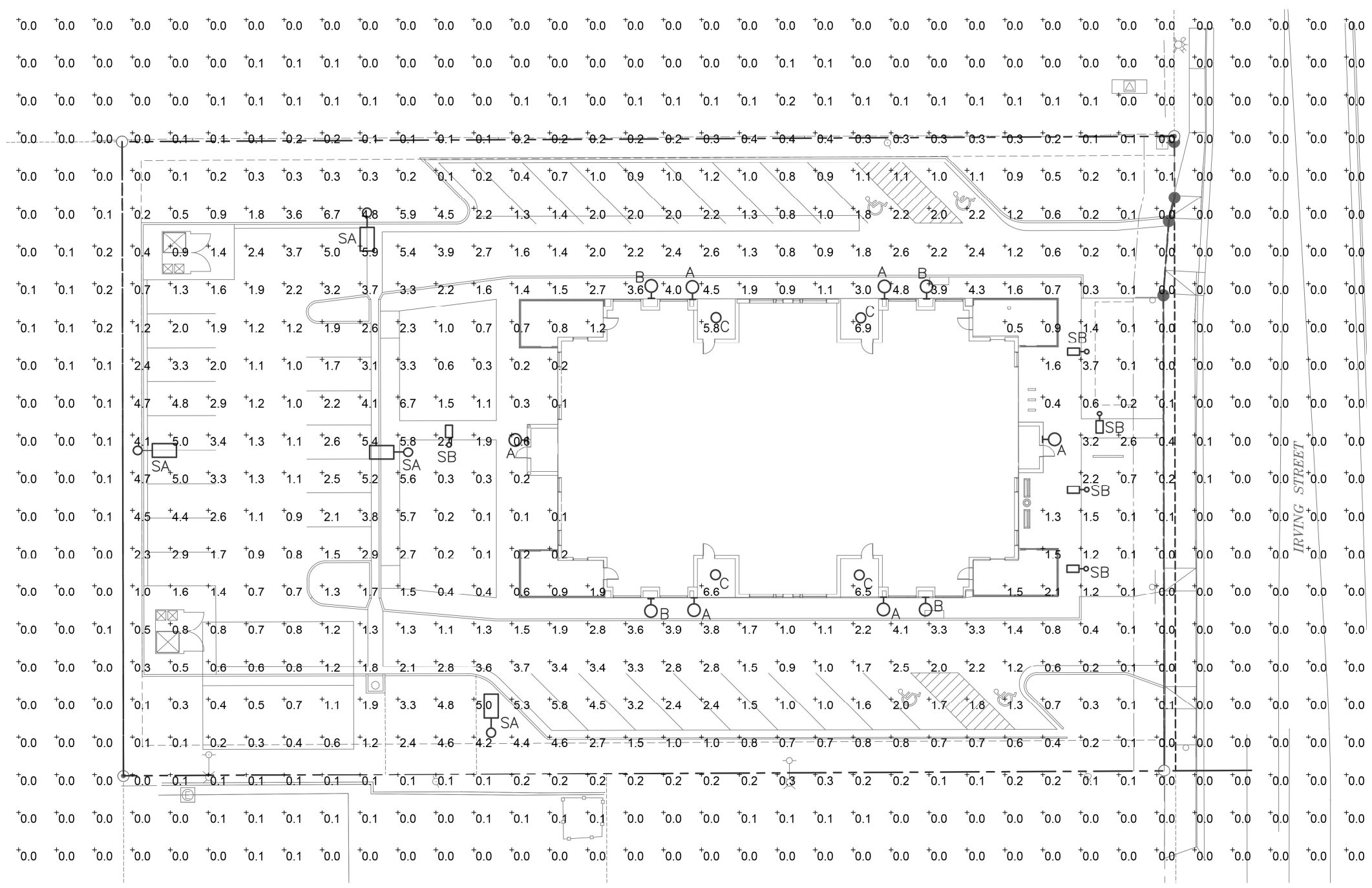


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DETAILS	
14 OF 16	

OFFICIAL DEVELOPMENT PLAN
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 SHEET 14 OF 15



PHOTOMETRIC SITE PLAN

1" = 20'-0"
 0 20' 40'

SITE PHOTOMETRIC SUMMARY	
AVERAGE	= 0.6 FT. CANDLE
MAXIMUM	= 6.9 FT. CANDLE
MINIMUM	= 0.0 FT. CANDLE

ENGINEERING CONSULTANTS
 L.L. COMPANY, INC.
 ELECTRICAL ENGINEERS
 8811 E Hampden Ave., Ste 208, Denver, CO 80231
 (303) 355-5534 (tel) walter@gecinc.com

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 DRAWN BY:
SITE PHOTOMETRIC PLAN

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 SHEET 15 OF 15

LIGHTING FIXTURE SCHEDULE

ITEM	MANUFACTURER	CAT. NO.	LAMPS	MOUNT	DESCRIPTION
A	WAC LIGHTING	WS-W48620-BK	18W, 3000K LED 519 DELIVERED LUMENS	8 FT. TO BOTTOM	FULL CUT OFF LED WALL LIGHT AT UNIT ENTRIES
B	LSI LIGHTING	XPWS3-FT-LED-48-450-NW-UE-BRZ	72W, 4000K LED 5,678 LUMENS	18 FT.	WET LOCATION FULL CUT OFF WALL PACK LIGHT
C	PHILLIPS LIGHTOLIER	S7R 830K 7	10W, 3000K LED 1000 LUMENS	8 FT. UNDER SOFFIT	7" ROUND SLIM LED SURFACE DOWN LIGHT WITH FLAT ACRYLIC LENS
SA	LUMARK	PRV-C25-D-UNV-T3-SA-BK-HSS	87W, 4000K LED 10,200 LUMENS	14 FT.	SINGLE HEAD FULL CUT OFF POLE LIGHT ON 14 FT. ROUND POLE. TYPE III OPTICS, HOUSE SIDE SHIELD
SB	HESS	LN950-LED-NW-UNV-A-035RA-BLK	16W, 4000K LED 659 LUMENS	3 FT.	FULL CUT OFF RECTANGULAR BOLLARD LIGHT



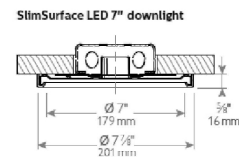
FIXTURE 'A'



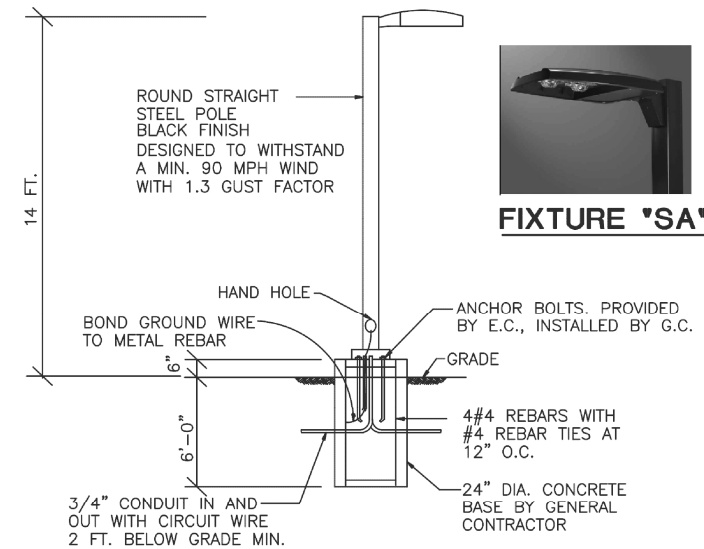
FIXTURE 'SB'



FIXTURE 'B'

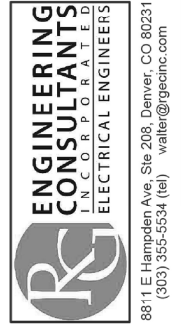


FIXTURE 'C'



**POLE MOUNTED FIXTURES INSTALLATION DETAIL
 FOR FIXTURES "SA"**

NO SCALE



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**SITE LIGHT
 FIXTURES**